

GENERAL CONSTRUCTION NOTES

- 1. ALL WORK SHALL COMPLY WITH NEW YORK BUILDING CODES, RULES AND REGULATIONS.
2. CONTRACTOR SHALL SECURE AND PAY FOR ALL WORK PERMITS REQUIRED BY LOCAL AUTHORITIES BEFORE STARTING WORK.
3. CONTRACTOR SHALL CHECK AND VERIFY ALL MEASUREMENTS AND CONDITIONS AT THE JOB SITE AND COMPARE THEM WITH ALL CONSTRUCTION DOCUMENTS BEFORE THE START OF WORK...

GENERAL NOTES

- 1. DO NOT SCALE DRAWINGS.
2. CONTRACTOR IS TO COORDINATE WITH ARCHITECT DURING LAYOUT.
3. ARCHITECT MUST APPROVE LAYOUT ON SUBFLOOR BEFORE CONTRACTOR PROCEEDS WITH FRAMING.

CODE COMPLIANCE NOTES

- 1. BATHROOM TO HAVE CERAMIC TILE FLOOR AND 6" TILE BASE MINIMUM. CEILING AND WALL TO BE WATERPROOF GYP. BD.
2. ALL COMBUSTIBLE MATERIALS UNDER AND WITHIN 12" OF GAS RANGE SHALL BE COVERED WITH FIRE RESISTIVE MATERIAL. MAINTAIN 24" MINIMUM CLEARANCE ABOVE GAS RANGE AS PER D06-32.05.

TENANT PROTECTION PLAN

BC 28-104.8.4 (2014)

DURING THE COURSE OF CONSTRUCTION, AS SHOWN ON THESE ARCHITECTURAL PLANS, PORTIONS OF THE BUILDING (THAT WILL NOT BE UNDER CONSTRUCTION) WILL BE OCCUPIED. THE CONTRACTOR SHALL NOT DO ANY WORK IN ANY PORTIONS OF THE BUILDING WHICH ARE OCCUPIED EVEN IF SHOWN ON THESE ARCHITECTURAL PLANS.

GENERAL: REASONABLE PROTECTION SHALL BE MADE DURING CONSTRUCTION FOR THE OCCUPANTS AGAINST HAZARD AND NUISANCE. BARRICADES, SIGNS, DROP CLOTHS, AND OTHER PROTECTIVE MEANS SHALL BE (ERECTED) INSTALLED AND MAINTAINED AS (REQUIRED) NECESSARY TO PROVIDE THAT PROTECTION.

- 1. EGRESS: ALL MEANS OF EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME.
2. FIRE SAFETY: ALL NECESSARY LAFS AND CONTROLS, INCLUDING THOSE WITH RESPECT TO OCCUPIED DWELLING, AS WELL AS ADDITIONAL SAFETY MEASURES NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.

- 3.1 CONTRACTOR SHALL POST A STATEMENT OF COMPLIANCE WITH APPLICABLE PROVISIONS OF THE LAW RELATING TO LEAD AND ASBESTOS.
4. COMPLIANCE WITH HOUSING STANDARDS: THE REQUIREMENTS OF THE NEW YORK CITY HOUSING MAINTENANCE CODE AND WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.

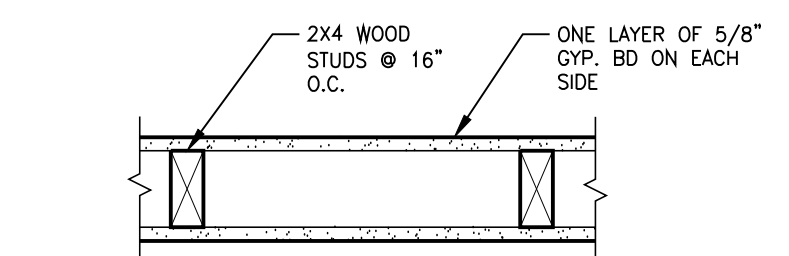
DEMOLITION NOTES

- 1. CONTRACTOR SHALL INSPECT THE PREMISES BEFORE BIDDING TO VERIFY THE CONDITIONS AND QUANTITIES OF WORK.
2. THE WORK OF WRECKAGE AND REMOVAL SHALL BE CARRIED ON IN AN ORDERLY MANNER WITHOUT UNDUE VIOLENCE TO ADJOINING WORK.

SYMBOL LEGEND

- EXISTING CONSTRUCTION - TO REMAIN
EXISTING CONSTRUCTION - TO BE REMOVED
NEW WOOD STUD WALL W/ 5/8" GWB BOTH SIDES 1HR RATED CONST. GA #3514

- CEILING MOUNTED SMOKE DETECTOR & CARBON MONOXIDE DETECTOR, SEE NOTE 28 & 29 ABOVE.
LOT LINE
HIGH-EFFICACY LAMPS
COMPACT FLUORESCENT LAMPS, 1-8 OR SMALLER DIAMETER LINEAR FLUORESCENT LAMPS, OR LAMPS WITH A MINIMUM EFFICACY OF:



DETAIL: WOOD STUD WALL (1 HR. RATED) GA #3514

Generated by REScheck-Web Software Compliance Certificate

Project 21-05 33 ST APT 5H

Energy Code: 2016 IECC
Location: Queens County, New York
Construction Type: Multi-family
Project Type: Alteration
Climate Zone: 4 (4999 HDD)
Permit Date:
Permit Number:

Owner/Agent: STEVE OSMAN, METROPOLITAN PACIFIC PROPERTIES, 21-77 33 ST, QUEENS, New York 11105
Designer/Contractor: CHARLES ZWEIBACH, VIRTUAL ARCH.COM INC, 17 MADISON AVE, MADISON, New Jersey 07940

Compliance: Passes
Compliance: 0.0% Better Than Code
Maximum UA: 37
Your UA: 37

Envelope Assemblies

Table with columns: Assembly, Gross Area or Perimeter, Cavity R-Value, Cont. R-Value, U-Factor UA. Lists various wall and ceiling assemblies with their respective values.

Report date: 10/21/16
Page 1 of 7

SPECIAL INSPECTIONS (FORMERLY CONTROLLED INSPECTIONS)

THESE ARE THE SPECIAL INSPECTIONS REQUIRED FOR THIS APPLICATION. AS PER 2014 N.Y.C. BUILDING CODE.
\*FIRE-RESISTANT PENETRATIONS AND JOINTS SECTION BC 1704.27
\*FINAL

ENERGY CODE COMPLIANCE INSPECTIONS

\*LIGHTING IN DWELLING UNITS - (IC2)

LIGHT & VENTILATION CALCULATIONS

CLASS. A APT. AREA= 607 S.F.

- 1- LIVING ROOM AREA: 15'-4" X 9'-6" 145.3 S.F. 14.5 S.F. LIGHT AND AIR REQ'D. 15 PROVIDED
2- K'TTE AREA: 7'X13'-2"=92.4 S.F. 9.2 S.F. LIGHT & AIR REQ'D 15 S.F. PROVIDED
3- BEDROOM 1 AREA: 8'-8"X11'-4"=99.4 S.F. 9.9 S.F. LIGHT & AIR REQ'D 30 S.F. PROVIDED

ENERGY ANALYSIS

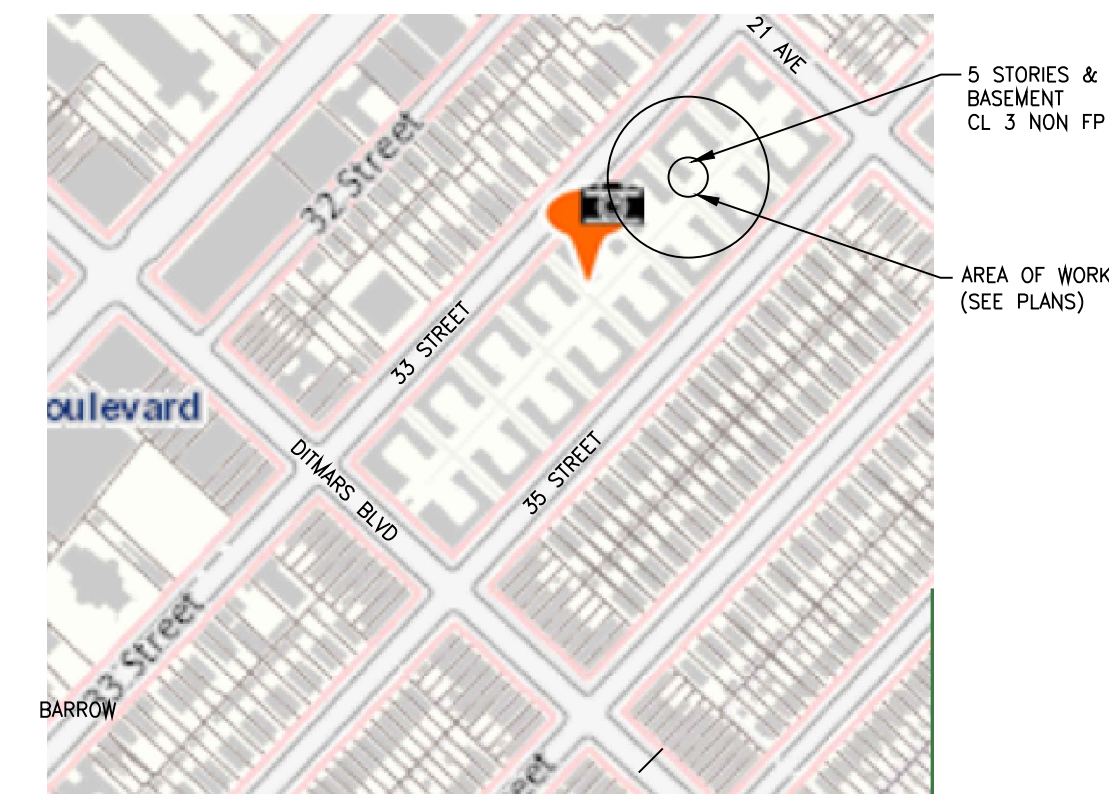
ALTERATIONS TO APARTMENTS IN A 5 STORY & BASEMENT MULT. DWELLING CLIMATE ZONE 4A

Table with columns: WORK ITEMS INCLUDING NEW AND/OR REPLACEMENT, PROPOSED DESIGN VALUE, CODE-PRESCRIBED VALUE & CITATION. Lists lighting and HVAC items.

Project Title: 21-05 33 ST APT 5H
Data filename:

ENERGY CONSERVATION INTERIOR LIGHTING CALCULATION table with columns: DESCRIPTION, WATTS PER FIXTURE, NUMBER OF FIXTURES, TOTAL WATTS. Shows calculations for compact fluorescent lamps and K'TTE.

C405.1 GENERAL. THIS SECTION COVERS LIGHTING SYSTEM CONTROLS, THE CONNECTION OF BALLASTS, THE MAXIMUM LIGHTING POWER FOR INTERIOR APPLICATIONS, AND MINIMUM ACCEPTABLE LIGHTING EQUIPMENT FOR EXTERIOR APPLICATIONS.

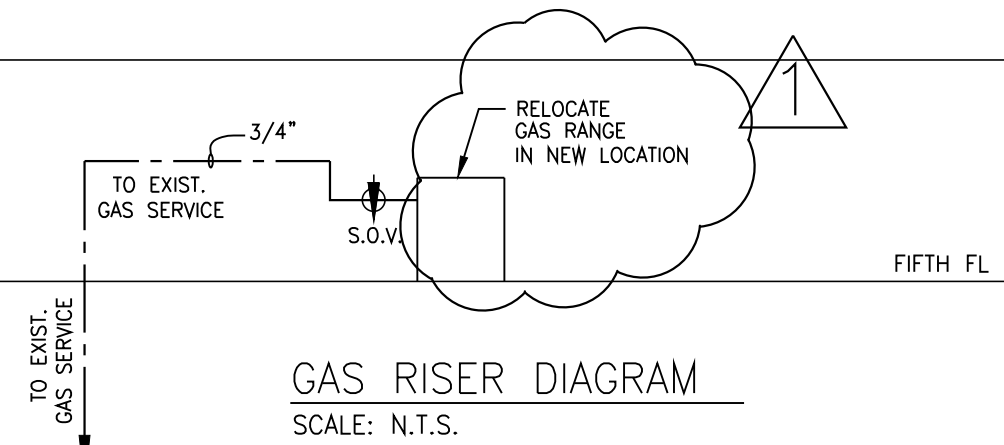


PLOT PLAN

SCALE: N.T.S. BLOCK: 7501, LOT: 5, HEIGHT: 5 STORIES & BASEMENT, OCCUPANCY: RESIDENTIAL, ZONE: R5/C1-2 OVERLY, MAP: 9c, COMMUNITY BD. No.: 401

LIST OF DRAWINGS

Table with columns: SHEET #, DESCRIPTION. Lists sheets A-001.01 (GENERAL NOTES, PLOT PLAN, LIGHT & VENTILATION CALCULATIONS) and A-002.01 (EXISTING 5TH FLOOR APPT, PROPOSED 5TH FLOOR APPT, PLUMBING RISER DIAGRAM, & DETAILS).



GAS RISER DIAGRAM

SCALE: N.T.S.

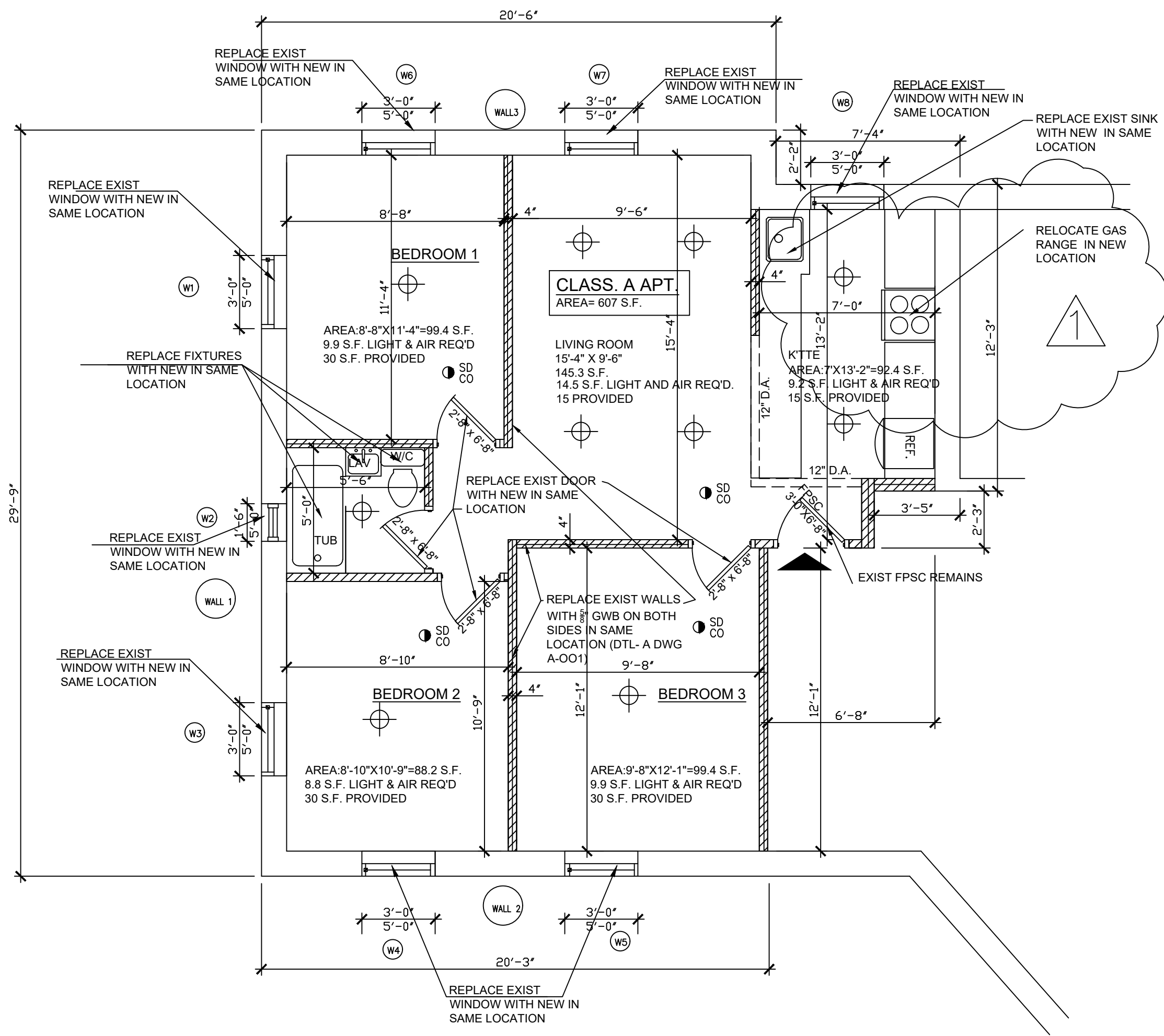
GAS NOTES

- 1. ALL REQUIREMENTS FOR INSTALLATION OF GAS PIPES SHALL BE IN ACCORDANCE WITH USA SI 221-30-1964, GAS COMPANY REQUIREMENTS, BUILDINGS CODE ALL AGENCIES, HAVING JURISDICTION.
BRANCH LINES SHALL BE TAKING OFF THE RISER WITH NOT LESS THAN 2 ELBOW SWING. BRANCH OUTLET PIPES SHALL BE TAKING FROM THE TOP OR SIDES OF HORIZONTAL LINES AND NOT FROM THE BOTTOM. PROVIDE STOP COCK OR VALVE FOR EACH GAS BUILDING FIXTURE AND EQUIPMENT REQUIRING GAS.

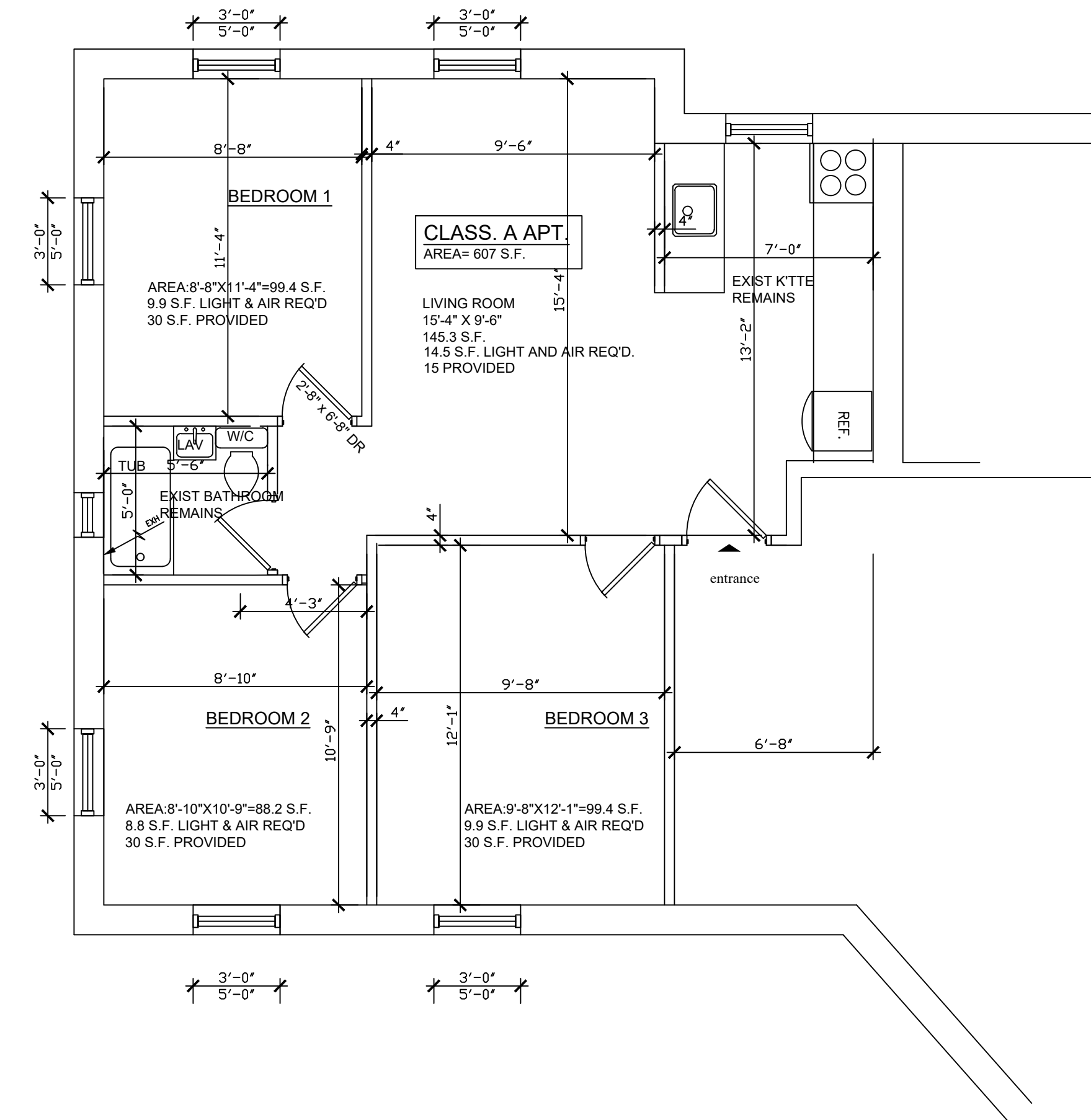
"TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE NYC ECCC 2016"

DOB APPROVAL

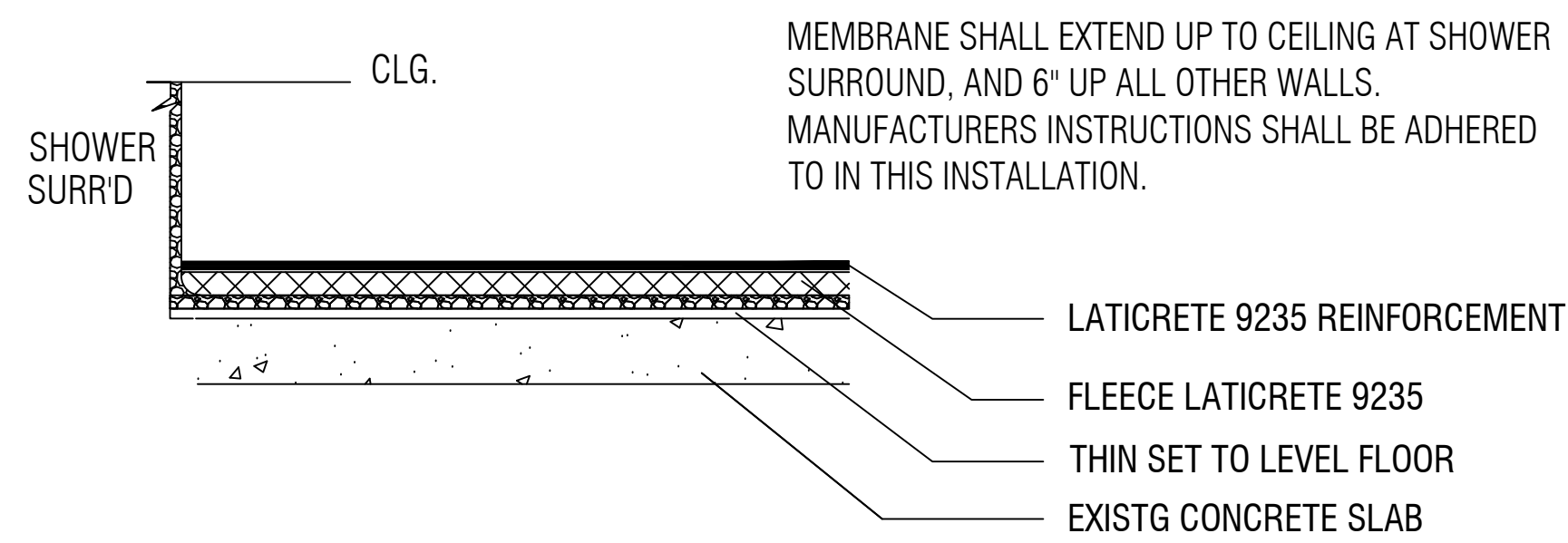
Notes section containing revision table, client name (OSMAN), architect name (CHARLES ZWEIBACH, AIA), virtual arch.com inc logo, project address (21-05 33ST QUEENS, NY), general notes, plot plan, light & vent calculations, energy charts, seal and signature, and date (10/20/16).



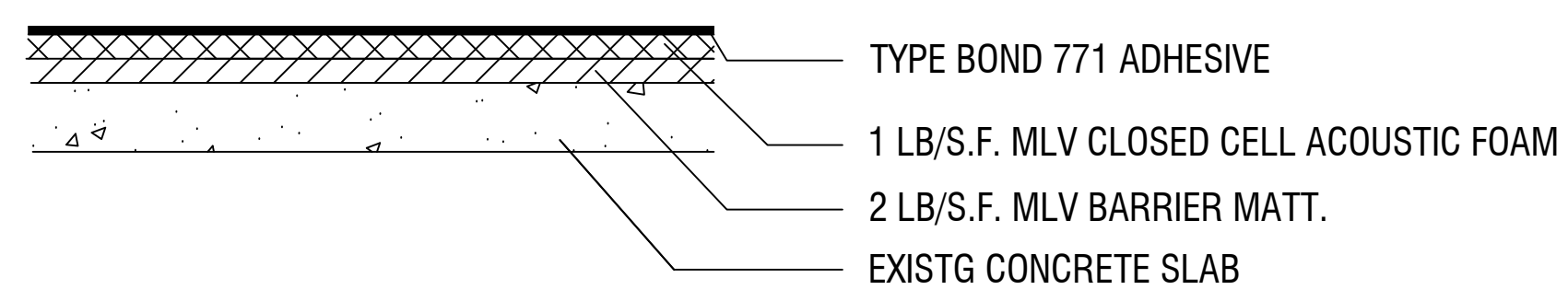
1 PROPOSED 5TH FLOOR PLAN  
SCALE: 1/4"=1'-0"



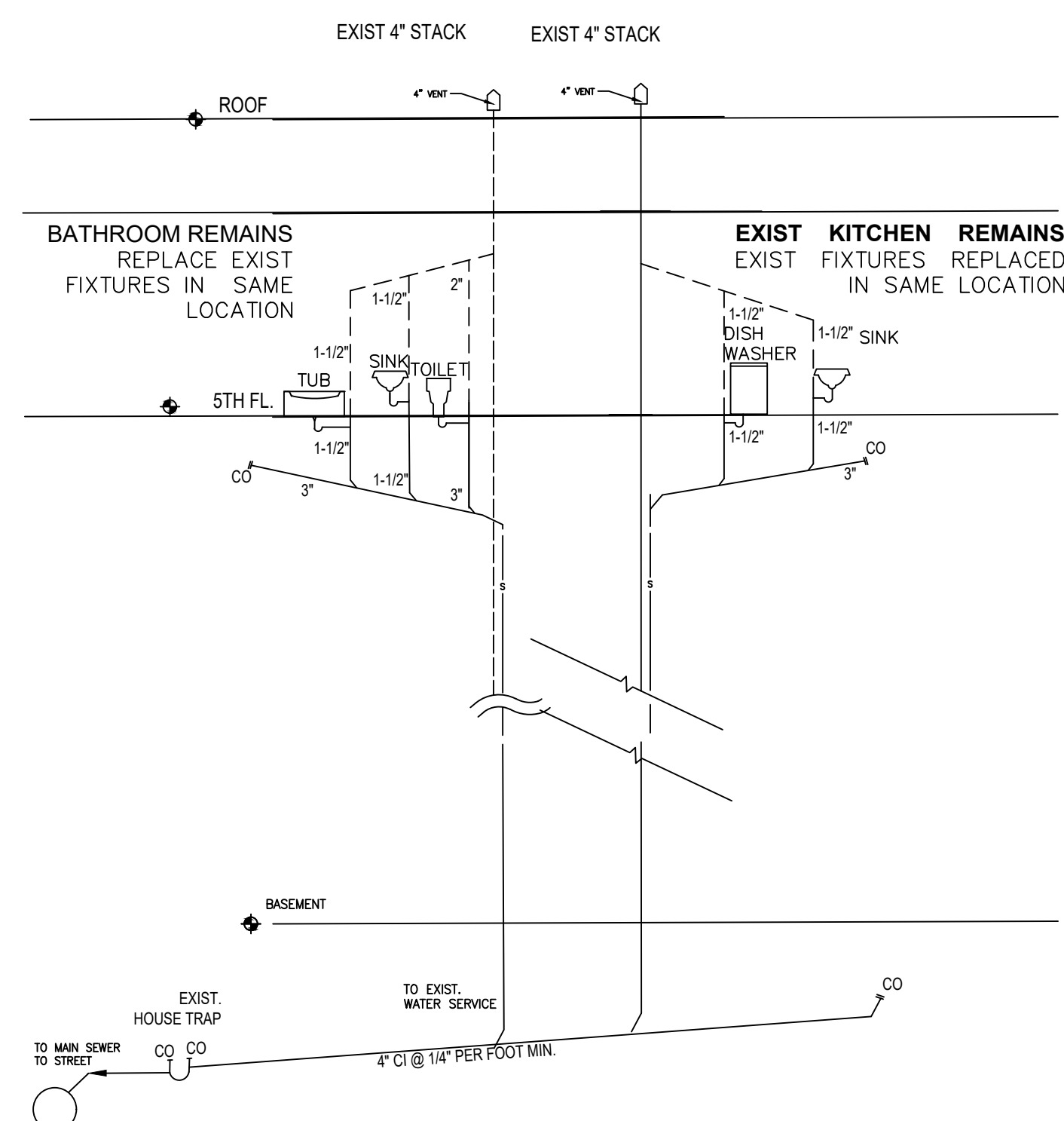
2 EXISTING 5TH FLOOR DEMO PLAN  
SCALE: 1/8"=1'-0"



3 BATHROOM AND KITCHEN WATERPROOFING MEMBRANE  
NTS



4 SOUND AND VIBRATION ISOLATION BARRIER  
NTS



5 PLUMBING DIAGRAM  
SCALE: 1/8"=1'-0"

- Notes
- VIRTUAL ARCH. COM has not been retained for full project supervision.
  - Drawings are not to be deemed complete until approved by the City of New York, NY.
  - Dimensions shall not be scaled off of the drawings. Contractor shall visit the site and verify all field dimensions.
  - All material assemblies and finishes are to be installed as per manufacturer's specifications.
  - General Contractor and electrician to coordinate electric.
  - General Contractor and plumber to coordinate plumbing.
  - Use of this plan confirms that all parties agree to Architect's liability being limited to Architect's professional fee on this project.

No.	Revision/Issue	Date
	ALL EXIST FIXTURES IN SAME LOCATION	11/14/16
	DOB SUBMITTAL	12/13/16
	RANGE IN NEW LOCATION DOB SUBM	2/9/18

Client Name  
OSMAN

**CHARLES ZWEIBACH, AIA**

**VIRTUAL ARCH. COM INC**  
AND PLANNERS  
Managers and Consultants

17 MADISON AVE APT 2 MADISON, NJ 07940  
T 347-497-2081 F 347-662-6879 cdarchitect@gmail.com

ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY WORK WHICH DEVIATES FROM APPROVED PLANS. THE CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FOR ANY CHANGES FROM THE ARCHITECT BEFORE COMMENCING SUCH WORK.

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO ALTER HIS ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ARCHITECT IS ALTERED, THE ALTERING ARCHITECT SHALL AFFIX TO HIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

Project  
21-05 33ST  
QUEENS NY

EXIST 5TH FLOOR PLAN-APPT  
PROPOSED 5TH FLR PLAN-APPT  
PLUMBING DIA., HC DETAILS

Seal & Signature  
10/20/16



2c  
CDZ  
ALT  
2  
1 OF 2

DOB APPROVAL

A-002.01