GENERAL NOTES

- 2 THE CONTRACTOR SHALL BE RESPONSIBLE TO FAMILIARIZE HIMSELF WITH ALL DRAWINGS, SPECIFICATIONS, FIELD CONDITIONS AND OTHER REQUIREMENTS OF THIS PROJECT AND SHALL REPORT THE DRAWINGS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE ANY DISCREPANCIES TO THE ARCHITECT
- CONDITIONS OR FROM DRAWINGS OR INFORMATION FURNISHED BY THE OWNER BUT CANNOT BE **GUARANTEED BY THE ARCHITECT**
- က REGULATIONS AND THE BEST TRADE PRACTICES ALL CONSTRUCTION SHALL COMPLY WITH STATE AND OTHER LOCAL BUILDING CODES AND
- 5 .4
- THE CONTRACTOR SHALL PROVIDE SUCH LABOR, MATERIALS, AND EQUIPMENT AS REQUIRED FOR THE TIMELY COMPLETION OF HIS WORK, AND TO COMPLETE THE PROJECT AS SHOWN.

 MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER CONSTRUCTION, INSTALLATION, OR OPERATION OR ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT, SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED BY THE
- 6 ALL MATERIALS SHALL BE INSTALLED PROPERLY, FOR THE USE INTENDED, IN ACCORDANCE WITH THE
- 7. MANUFACTURERS WRITTEN INSTRUCTIONS AND TO THE HIGHEST STANDARDS OF THE TRADE.
 THE CONTRACTOR SHALL FILE FOR ALL PERMITS, INSPECTIONS AND SIGN-OFFS, PAY ALL FEES AND
 PRESENT COPIES OF APPROVALS FOR FINAL ACCEPTANCE BY THE OWNER INCLUDING FINAL CERTIFICATE 유

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- DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO THE COMMENCEMENT OF WORK BY THE RESPECTIVE SUB-CONTRACTOR, WHO SHALL BE HELD RESPONSIBLE FOR HIS PHASE OF THE WORK. VERIFY EXISTING FRAMING, REVIEW WITH ARCHITECT ALL EXPOSED CONDITIONS WHERE NEW CONSTRUCTION IS SUPPORTED BY EXISTING CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED, ONLY DIMENSIONS ARE TO BE USED. ALL DIMENSIONAL
- 9. ALL CONSTRUCTION, DIMENSIONS AND DETAILS SHALL CONCUR AND BE DETERMINED FROM THESE
- DRAWINGS AND REVISED DRAWINGS OR SKETCHES ISSUED BY THE ARCHITECT ONLY. DIMENSIONS SHOWN ON PLAN AS PLUS OR MINUS (+,-) ARE TO BE CLARIFIED IN THE FIELD AND DISCREPANCIES GREATER THAN 2" ARE TO BE REPORTED TO THE ARCHITECT. ALL MATERIALS, ASSEMBLIES, FORMS AND METHODS OF CONSTRUCTION AND SERVICE EQUIPMENT MEET WITH THE FOLLOWING REQUIREMENTS:

10.

- $\bar{\omega}$ SHALL BE ACCEPTABLE PRIOR TO THE EFFECTIVE DATE OF THE NYC BUILDING CODE OR SHALL BE ACCEPTED FOR USE UNDER THE PRESCRIBED TEST METHOD BY THE COMMISSIONER OR HAVE BOARD OF STANDARDS AND APPEALS APPROVAL
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY SERVICES AND UTILITIES DURING THE CONSTRUCTION PERIOD AND SHALL PAY ALL COSTS INVOLVED.
 THE CONTRACTOR SHALL CARRY BUILDER'S RISK INSURANCE WITH BROAD FORM EXTENDED COVERAGE COVERING THE VALUE OF HIS COMPLETED WORK

12

- 14 3
- THE SITE DURING CONSTRUCTION.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION, AND MISALIGNMENT CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY PROTECTION, SECURITY AND SAFETY OF

15

- ACCORDING TO APPLICABLE CODE STANDARDS AND GOOD PRACTICE. THE CONTRACTOR SHALL PROVIDE A REFUSE CONTAINER AT THE SITE AND SHALL CLEAN UP HIS DEBRIS
- 16 AT THE COMPLETION OF EACH WORKDAY. ALL CONSTRUCTION SHALL BE AS PER PLANS AND SPECIFICATIONS UNLESS OTHERWISE AGREED IN
- 17. WRITING BY THE OWNER
- 18. 19. PERFORMING ANY OF THE WORK TO BE DONE EMPLOYEES, AND ALL SUB-CONTRACTORS, THEIR AGENTS AND EMPLOYEES, AND ALL OTHER PERSONS NO CHANGES SHALL BE MADE WITHOUT THE CONSULTATION OF AND APPROVAL BY THE ARCHITECT. CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR ALL ACTS AND OMISSIONS OF HIS
- 20 IT IS THE INTENTION OF THIS CONTRACT TO COMPLETELY FINISH AND READY FOR OCCUPANCY THIS BUILDING IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ALL REQUIREMENTS OF LAWS. ALTHOUGH NECESSARY WORK MAY NOT BE ITEMIZED IN THE DRAWINGS THE CONTRACTOR SHALL
- 21. FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND INCLUDE ALL WORK SPECIFIED OR IMPLIED FOR THE COMPLETE REPAIR OF THE BUILDING.
 ALL WORK SHALL BE DONE IN WORKMANLIKE MANNER BY SKILLED MECHANICS. THE WORK SHALL INCLUDE ALL MATERIALS AND LABOR NECESSARY TO COMPLETE DEMOLITION AND CONSTRUCTION
- 22 BUILDINGS APPROVED CONSTRUCTION DOCUMENTS ON THE CONSTRUCTION FLOORS DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES. SHOWN ON THESE DRAWINGS CONTRACTOR SHALL MAINTAIN A COMPLETE AND ORIGINAL SET OF NYC DEPARTMENT OF

MULTIPLE DWELLING LAW NOTES

- N →
- PROVIDE EXTERIOR LIGHTS AS PER SEC. 26 & 35 M.D.L. ALL BUILDING ENTRANCE DOORS TO BE SELF CLOSING, SELF LOCKING DEVICES AS PER SEC. 50(A) M.D.L. WATER SUPPLY TO BE AS PER SEC. 75 M.D.L. CENTRAL HEATING AND HOT WATER SUPPLY TO BE AS PER SEC. 79 M.D.L. NIGHT LIGHT AND PUBLIC HALL AND STAIR HALL TO BE AS PER
- 5. NIGHT LIGHT AND PUBLIC HALL AND STAIR HALL TO BE AS PER SEC. 37 AND SEC. 217 M.D.L.
 6. MAIL SERVICE TO BE AS PER SECTION 57 M.D.L.
 7. PROVIDE FLOOR SIGNS AND HOUSE NUMBER.
 8. FIRE RETARD WITHIN ONE FOOT OF COOKING APPARATUS AND MAINTAIN TWO FOOT CLEARANCE ABOVE 3/16" ASBESTOS AND 26 GA. METAL OVER AS PER SEC. 33.3(B) M.D.L.
 9. REGISTER BUILDING AS PER SEC. 325 M.D.L.
 10. ALL APARTMENT DOORS TO BE SELF CLOSING.
 11. PROVIDE FOR APARTMENT DOORS HEAVY DUTY LATCHSET WITH HEAVY DUTY DEAD BOLT AND DOOR CHAIN GUARD.

BUILDING CODE NOTE

FIRE

STOPPING AND FIRE

RETARDING

NOTES

2

WHERE PIPES, WIRES, CONDUITS, DUCTS, ETC PIERCE FIRE PROTECTION OF INDIVIDUALLY ENCASED STRUCTURAL MEMBERS, SUCH PENETRATION SHALL NOT EXCEED 2% OF ANY

FACE OF SUCH PROTECTION AND SHALL BE CLOSED OFF WITH CLOSE FITTING METAL

2 HR RATED CONSTRUCTION (TABLE 3-4 AND 27-326)

LINTELS OVER OPENINGS WIDER THAN 4'-0" IN MASONRY WALLS SHALL BE PROTECTED BY

ALL WORK SHALL BE PERFORMED IN STRICT CONFORMANCE TO THE NYC BUILDING CODE AND WITH THE RULES AND REGULATIONS OF ALL LOCAL AGENCIES, DEPARTMENTS, OR LAWS HAVING JURISDICTION.

TENANT PROTECTION

ALTERATIONS OF BUILDINGS IN WHICH ANY DWELLING UNIT WILL BE OCCUPIED DURING CONSTRUCTION SHALL INCLUDE A TENANT PROTECTION PLAN. SUCH PLAN SHALL CONTAIN A STATEMENT THAT THE BUILDING CONTAINS DWELLING UNITS THAT CONSTRUCTION, THE WILDING, WHERE AFFLIVABLE, VELLE SAFETY AND HEALTH OF THE OCCUPANTS, INCLUDING, WHERE AFFLIVABLE, OR DUST SUCH AS TEMPORARY FIRE-RATED ASSEMBLIES, OPENING PROTECTIVES, OR DUST MAY WILL BE OCCUPIED DURING CONSTRUCTION AND VARY DEPENDING ON THE NATURE CONSTRUCTION, THE MEANS AND METHODS TO §28-104.8.4 TENANT PROTECTION PLAN. CONSTRUCTION DOCUMENTS FOR SPECIFIC UNITS THAT ARE OR N AND SCOP MAY BE OCCUPIED DURING E OF THE WORK BUT AT A MINIMUM BE EMPLOYED TO SAFEGUARD THE SHALL INDICATE IN SUFFICIENT

SHALL MAKE DETAILED AND SPECIFIC PROVISIONS FOR:

1. EGRESS. AT ALL TIMES IN THE COURSE OF CONSTRUCTION PROVISION SHALL
BE MADE FOR ADEQUATE EGRESS AS REQUIRED BY THIS CODE AND THE TENA
PROTECTION PLAN SHALL IDENTIFY THE EGRESS THAT WILL BE PROVIDED.
REQUIRED EGRESS SHALL NOT BE OBSTRUCTED AT ANY TIME EXCEPT WHEF APPROVED BY THE COMMISSIONER. OBSTRUCTED AT ANY TIME EXCEPT WHERE EGRESS THAT WILL BE PROVIDED.

ACCEPTABLE LEVELS SHALL BE INCLUDED. 3.1. THERE SHALL BE INCLUDED A STA 4. COMPLIANCE WITH HOUSING STANDARDS. APPLICABLE PROVISIONS OF LAW RELATING TEMENT OF COMPLIANCE WITH TO LEAD AND ASBESTOS THE REQUIREMENTS OF THE NEW YORK

STRUCTURAL SAFETY. NO STRUCTURAL WORK SHALL BE DONE THAT MAY

TENANT **PROTECTION** PLAN STATEMENT

1. NO CHANGE IN USE, EGRESS, OR OCCUPANCY.

ENVIRONMENT, AND THE RESTRICTION OF CONSTRUCTION NOISE PURSUANT TO THE NEW YORK INCLUDING THOSE FOR DAILY REMOVAL OF RUBBISH, THE MAINTAINENCE OF A DUST FREE 2. SEE FIRE STOPPING AND FIRE RETARDING NOTES 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CITY NOISE CONTROL CODE APPLICATION DURING THE CONSTRUCTION PERIOD AND SHALL PAY ALL COSTS INVOLVED THE HEALTH AND SAFETY, AS RELATED TO THIS

PROTECTION 15 RCNY § 1-23(b)(2). 4. SEE NOTES, SHEET G-002. 3.1. NO EXISTING BUILDING MATERIALS ARE TO BE ACCORDANCE WITH THE RULES OF THE NEW YORK CITY DEPARTMENT OF ENVIRONMENTAL DISTURBED BY THE PROPOSED WORK, IN

5. NO STRUCTURAL WORK SHALL BE PERFORMED UNDER THIS APPLICATION.
6. WORK TO OCCUR ONLY DURING NORMAL OPERATING HOURS, (9AM-5PM), MONDAY TO FRIDAY.

SMOKE **DETECTION / CC** NOTES

- 2 DETECTOR DEVICE RECEIVING PRIMARY POWER FROM THE BUILDING WIRING WITH NO SWITCH IN THE CIRCUIT OTHER THAN THE OVER-CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT AS PER SEC C26-1705.A.
 SUCH SMOKE DETECTORS MUST BE EITHER THE IONIZATION CHAMBER TYPE OR EACH DWELLING UNIT SHALL BE EQUI PPED WITH AN APPROVED TYPE SMOKE
- က္ PHOTOELECTRIC DETECTOR TYPE AS PER SEC C26-1705.A. ALL SMOKE DETECTORS MUST BE INSTALLED WITHIN 15'-0" OF THE ENTRANCE TO ANY SLEEPING ROOM, WALL OR CEILING MOUNTED AND INDICATED ON PLAN AS PER NFPA 72/80.
- 4 A CERTIFICATE OF SATISFACTORY INSTALLATION MUST BE FILED WITH THE DIVISION OF CODE ENFORCEMENT H.P.D. TEN DAYS AFTER INSTALLATION OF SMOKE DETECTORS
- 5 EACH DWELLING UNIT SHALL BE EQUIPED WITH AT LEAST ONE APPROVED AND OPERATIONAL CARBON MONOXIDE DETECTING DEVICE WITHIN FIFTEEN FEET OF EACH ROOM LAWFULLY USED FOR SLEEPING PURPOSES ACCORDING TO AND IN COMPLIANCE WITH LOCAL LAW 07/04.

6"MAX

PLAN

6

OPENINGS IN FIRE DIVISIONS AND SEPARATIONS SHALL COMPLY WITH 27-342. CONCEALED SPACES WITHIN PARTITIONS, WALLS, FLOORS, ROOFS, STAIRS, FURRING, PIPE

SPACES, COLUMN ENCLOSURES, ETC. SHALL BE FIRESTOPPED (EXCEPT WHERE

TENANT APARTMENTS SHALL BE SEPARATED BY FIRE SEPARATIONS, BUT NOT LESS THAN A

I HOUR SEPERATION SHALL CONTINUE THROUGH CONCEALED SPACES (27-341)

CONTINUOUS THROUGH ANY CONCEALED SPACE IN FLOOR OR ROOF

CONSTRUCTION

UNLESS PROTECTED BY RATED SELF-CLOSING DEVICES. FIRE DIVISIONS SHALL COMPLY WITH PROVISIONS OF SECTION 27-340 AND SHALL BE

WITH CLOSE FITTING METAL ESCUTCHEONS. THE AGGREGATE NET AREA OF SUCH OPENING

AND BE PACKED WITH MINERAL WOOL

AND CLOSED OFF

SHALL NOT EXCEED 25 SQUARE INCHES IN ANY 100 SQUARE FEET OF WALL OR FLOOR AREA

DUCTS, PIPES, AND CONDUITS PASSING THROUGH RATED CONSTRUCTION SHALL HAVE

SPACES NOT EXCEEDING 1/2"

ESCUTCHEONS OR PLATES (27-324a).

5

10

FINISH FLOORING IN ALL EXITS SHALL BE OF NON-COMBUSTIBLE MATERIAL (27-351) ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.

SMOKE DETECTORS SHALL BE CONNECTED TO THE CENTRAL ELECTRICAL SYSTEM AND

CONCEALED SPACE IS SPRINKLERED) WITH NON-COMBUSTIBLE MATERIAL THAT CAN BE SHAPED, FITTED, AND PERMANENTLY SECURED IN POSITION (27-345)

NECESSITATED BY THE CONSTRUCTION SHALL BE STRICTLY OBSERVED.
3. HEALTH REQUIREMENTS. SPECIFICATION OF METHODS TO BE USED FOR CONTROL OF DUST, DISPOSAL OF CONSTRUCTION DEBRIS, PEST CONTROL AND MAINTENANCE OF SANITARY FACILITIES, AND LIMITATION OF NICHOL TO ACCEPTABLE LEVELS SHALL BE TRICTLY, INVLUDING THOSE WITH MEASURES MEASURES AND LIMITATION OF NICHOL AND ACCEPTABLE LEVELS SHALL BY TAKEN AS WELL AS ADDITIONAL SAFETY MEASURES WITH MEASURES AND LIMITATION OF NICHOL AND ACCEPTABLE LEVELS SHALL BY THE PROPERTY OF NICHOL AND ACCEPTABLE LEVELS SHALL BY THE PROPERTY OF NICHOL AND ACCEPTABLE LEVELS SHALL BY THE PROPERTY OF NICHOL AND ACCEPTABLE LEVELS SHALL BY THE PROPERTY OF NICHOL AND ACCEPTABLE LEVELS SHALL BY THE PROPERTY OF NICHOL BY THE PROPERTY OF NICHOLD BY THE PROPERTY OF NICHO

14 15 16

SUSPENDED GYPSUM CEILINGS SHALL BE 5/8" F.C. 60 GYPSUM BOARD KITCHENETTE DROP ARCHES TO BE 12" MIN. BELOW CEILINGS.

EXTEND DUCT FIRE RATING TO UNDERSIDE OF ROOFING

COMPLETELY FIRESTOPPED WITH NON-COMBUSTIBLE MATERIAL PRIOR TO APPLYING FINISH

WHERE PIPES AND/OR DUCTS PASS THROUGH WALLS, SUCH OPENING SHALL BE

COMPLETELY FIRESTOPPED WITH CONCRETE PRIOR TO CONSTRUCTION OF ENCLOSING

SUCH OPENING SHALL BE

13

PARTITIONS OR WALLS

12

SHALL HAVE 2 HR RATED FIRE RETARDING. WHERE PIPES AND/OR DUCTS PASS THROUGH FLOORS.

STRUCTURAL STEEL SUPPORTING SHAFT WALLS AND FIREPROOF FLOORS AND CEILINGS

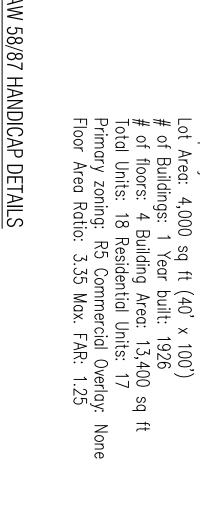
PROVIDED NEAR SLEEPING AREAS IN ALL APARTMENTS

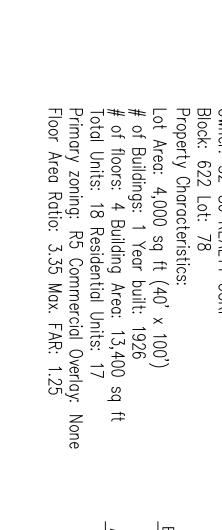
CITY HOUSING MAINTENANCE CODE, AND, WHERE APPLICABLE, THE NEW YORK STATE MULTIPLE DWELLING LAW SHALL BE STRICTLY OBSERVED.

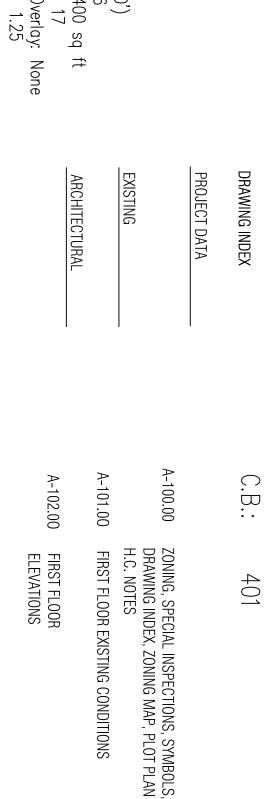
ENDANGER THE OCCUPANTS.

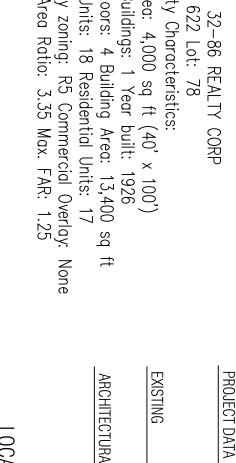
6. NOISE RESTRICTIONS. WHERE HOURS OF THE DAY OR THE DAYS OF THE WEEK
IN WHICH CONSTRUCTION WORK MAY BE UNDERTAKEN ARE LIMITED PURSUANT TO THE
NEW YORK CITY NOISE CONTROL CODE, SUCH LIMITATIONS SHALL BE STATED.

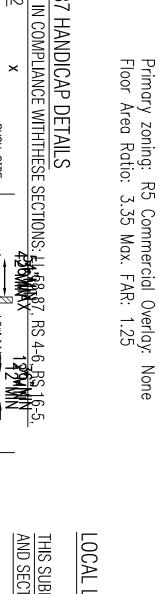
Owner: 52-Block: 622 Property Characteristics: 32-86 REALTY CORP Lot:



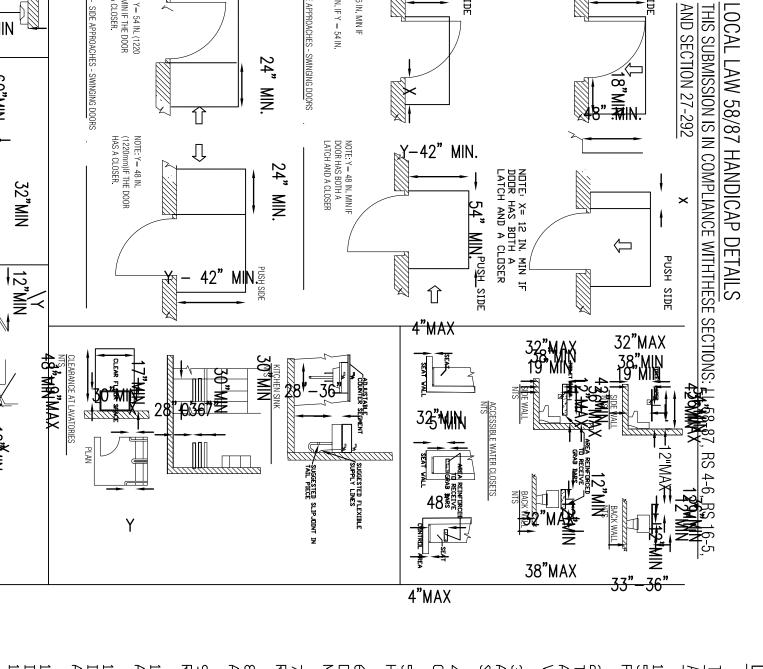


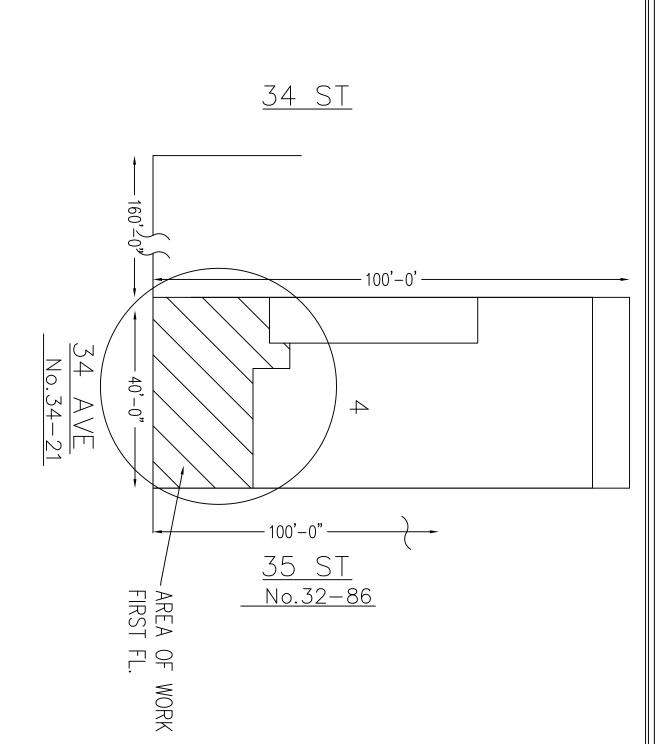












)ATA
401	C.B.:	NDEX
9B	MAP:	
R5	ZONE:	
78	LOT(s):	
22	BLOCK: 6	
34th AVE	34-21 34th	
		PLOT PLAN

|--|

1. ALL FACILITIES SHALL COMPLY WITH LOCAL LAW 58/87 OF THE CITY OF NEW YORK IN RELATION TO PROVISING FACILITIES FOR PEOPLE WITH DISABILITIES, 2. ALL GENERAL SITE AND BUILDING ELEMENTS REQUIRED TO BE ACCESSIBLE BY THE SCOPING PROVISIONS ADDOPTED BY THE CITY OF NEW YORK SHALL COMPLY WITH ANSI CHAPTER 5

DATE

REVISIONS

5, THRESHOLDS AT DOORWAYS WILL NOT EXCEED 1/2" IN HEIGHT AS PER ANSI SEC. 404.2.5. 4. DOOR WIDTHS SHALL BE MINIMUM OF 32" IN COMPLIANCE WITH ANSI SEC. 404.2.3. 3. FLOOR SURFACES ALONG ACCESSIBLE ROUTES AND IN ACCESSIBLE ROOMS SHALL BE MADE STABLE, FIRM, AND SLIP RESISTANT IN COMPLIANCE WITH ANSI SEC. 402.1

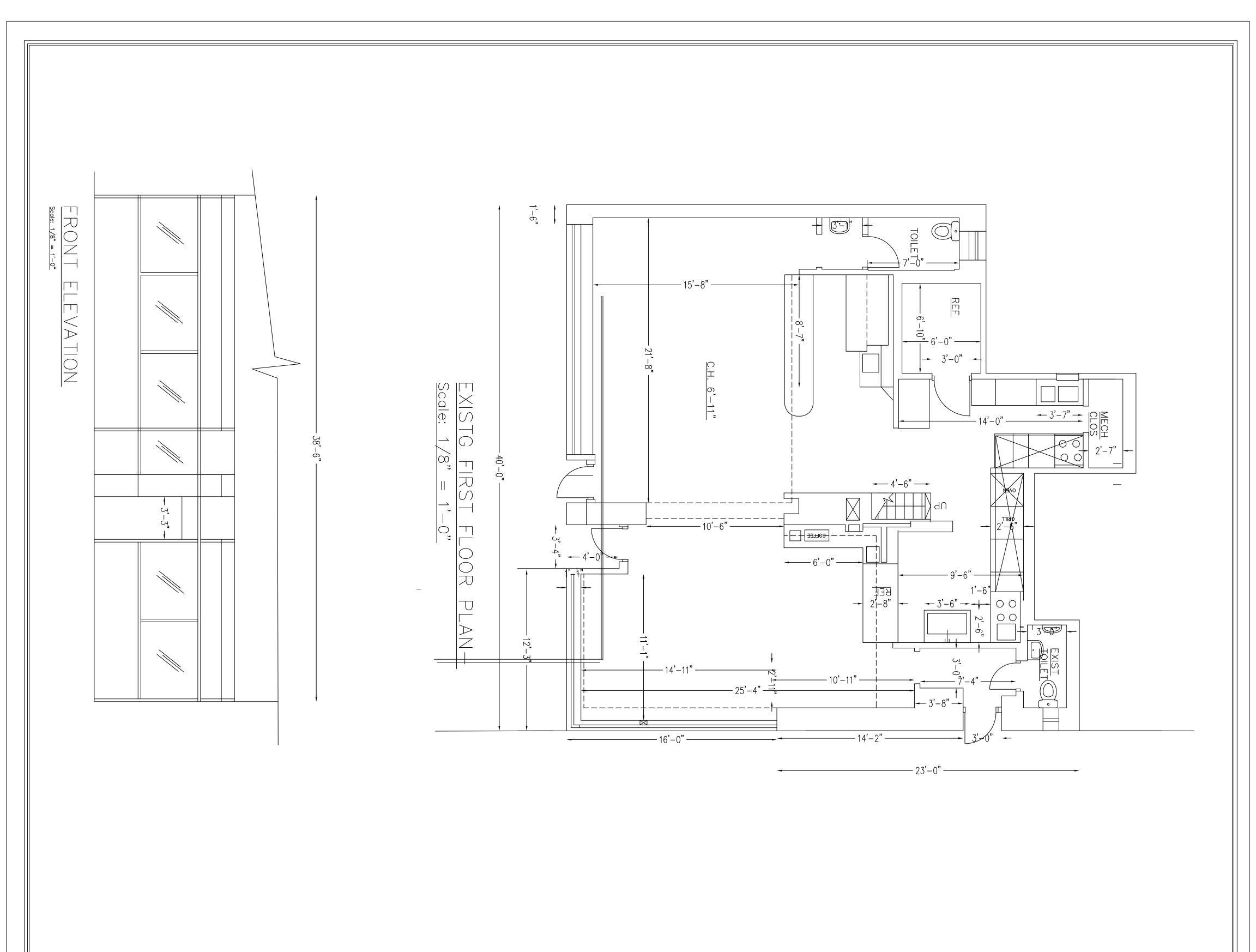
10. ALL DWELLING UNITS SHALL BE HANDICAPPED ADAPTABLE AS PER LL 58/87. 9. ALL TOILETS SHALL BE HANDICAPPED ACCESSIBLE AS REQUIRED. 8. ALL HANDRAILS SHALL COMPLY WITH ANSI SEC. 505.1 AS REQUIRED. 7. ALL STAIRS SHALL COMPLY WITH ANSI SEC/ 504.1 AS REQUIRED. 5. HANDLES, PULLS, LATCHES, LOCKS, AND OTHER DPERATING DEVICES ON ACCESSIBLE DOORS SHALL BE MADE TO COMPLY WITH ANSI SEC. 404.2.7.

13. ALL ELEVATORS AND ELEVATOR CONTROLS, ELEVATOR SIGNS, AND ELEVATOR SIGNALS SHALL COMPLY WITH ANSI SEC. 407.2. 12. REINFORCEMENTS FOR GRAB BARS SHALL BE INSTALLED IN ADAPTABLE BATHROOMS AS PER ANSI SEC. 1. DIMENSIONS OF CLEAR SPACE AND DOOR OPENINGS NTO ADAPTABLE KITCHENS AND BATHS (WHERE APPLICABLE) COMPLY WITH ANSI SEC.301.1.

12**%**IN

ARCHITECT CHARLES D ZWEIBACH, ARCHITECT	FIRST FLOOR ELEVATIONS	DRAWING TITLE	34-21 34 AVENUE QUEENS, NEW YORK	

A 100.00	JOB#	BIS NO.	VIRTUAL ARCH COM INC 484 W 43 ST SUITE 37C NEW YORK, NY 10036 917-902-3958	CHARLES D ZWEIDACH, ARCHITECT
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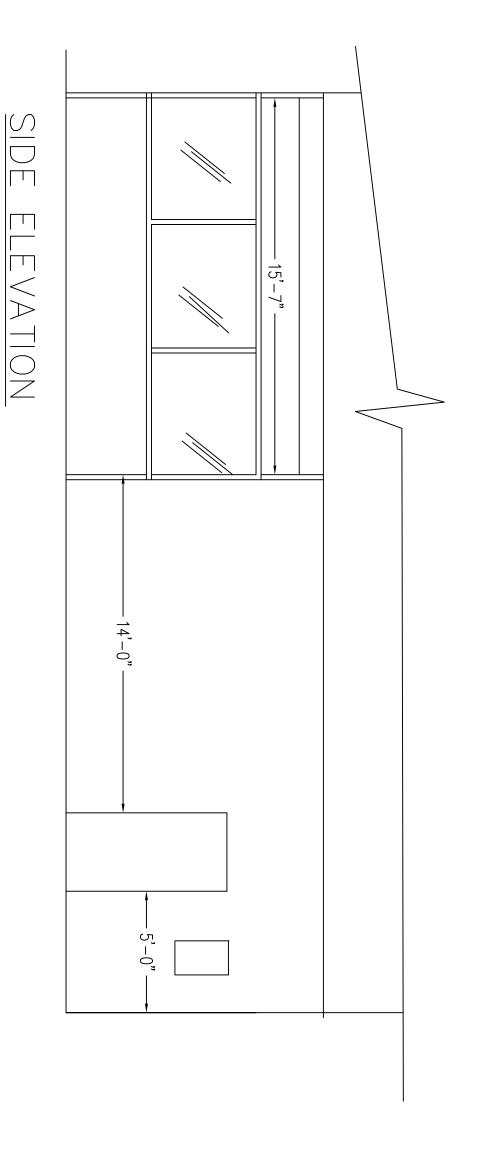


- EXISTING WALLS & PARTITIONS

- TO BE REMOVED

NEW WOOD STUDS COVERED ON BOTH SIDES w/ 5/8" GYPSUM BOARDS NEW METAL STUDS COVERED ON BOTH SIDES w/ 5/8" GYPSUM BOARDS

- SMOKE DETECTOR + CARBON MONOXIDE DETECTOR AS PER L.L. 7\
AND R.S. 17-13 + 17.4



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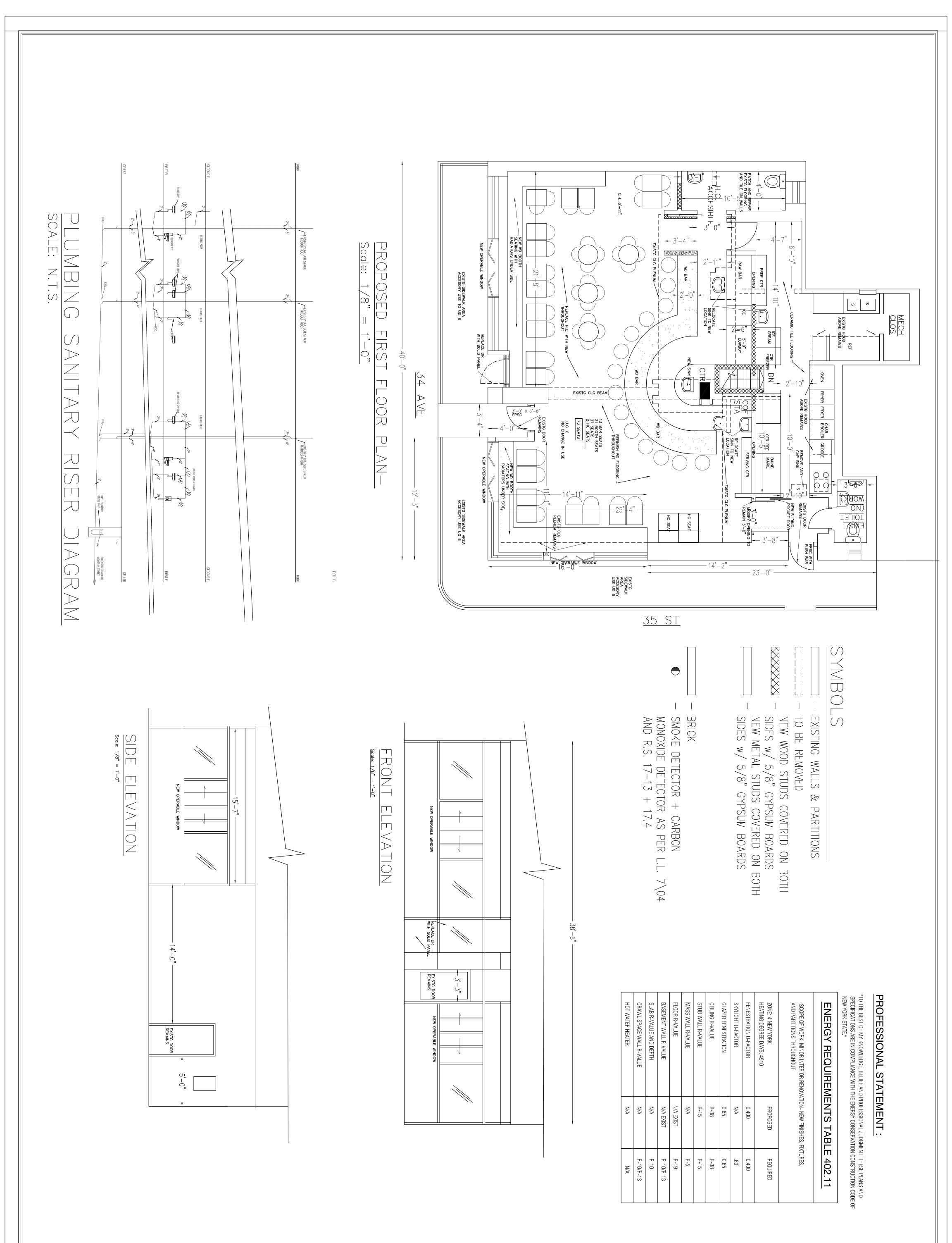
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DRAWING TITLE
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FIRST FLOOR
ELEVATIONS

ARCHITECT

CHARLES D ZWEIBACH, ARCHITECT

34-21 34 AVENUE QUEENS, N. Y. DATE REVISIONS



DATE

REVISIONS

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ARCHITECT

CHARLES D ZWEIBACH, ARCHITECT

QUEENS, N. Y.

PROPOSED CONDITION FIRST FLOOR ELEVATIONS

34-21 34 AVENUE