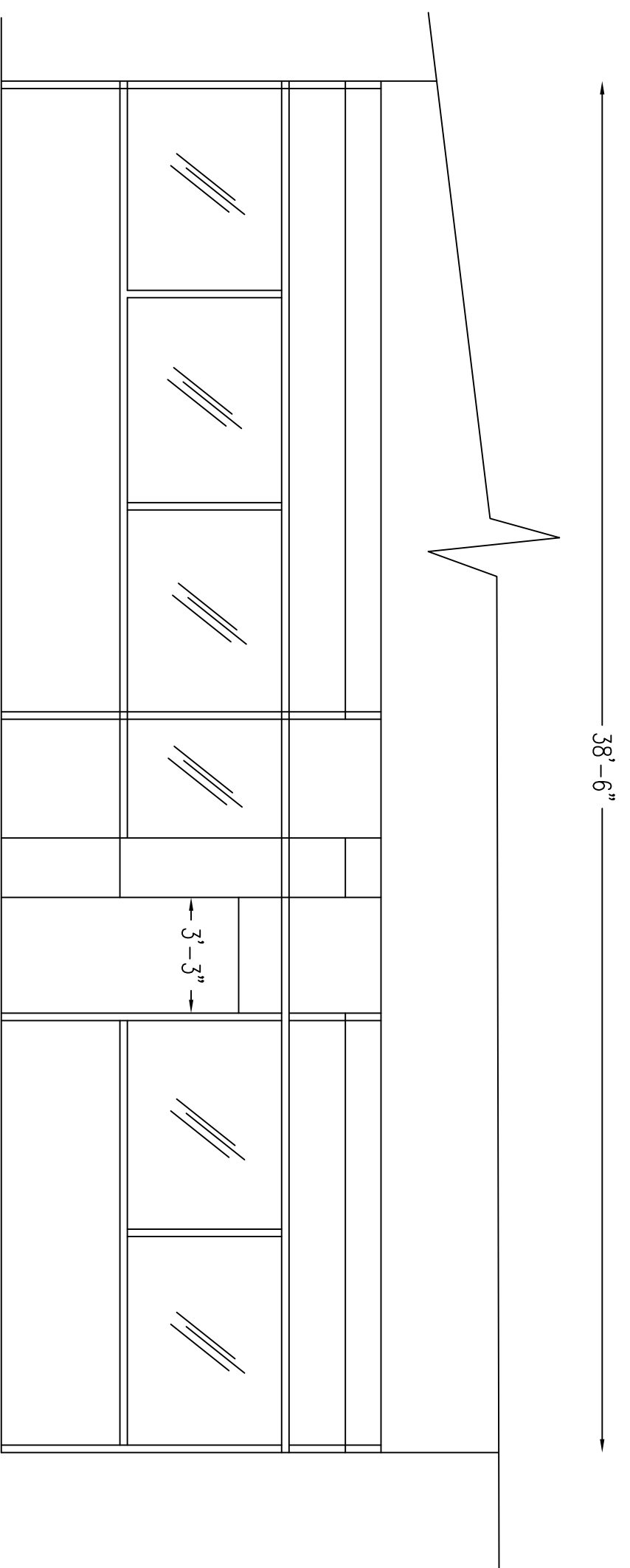


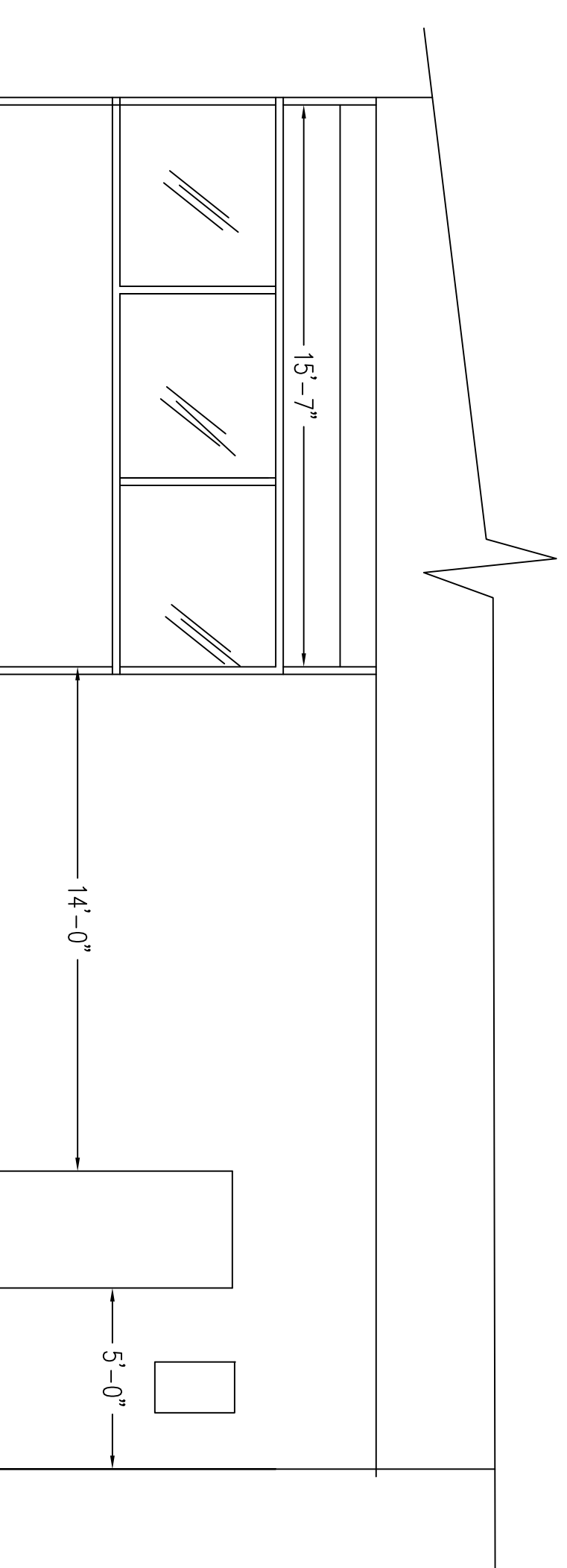
EXISTIG FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



FRONT ELEVATION
Scale: 1/8" = 1'-0"

SYMBOLS

- EXISTING WALLS & PARTITIONS
- - - - TO BE REMOVED
- NEW WOOD STUDS COVERED ON BOTH SIDES w/ 5/8" GYPSUM BOARDS
- NEW METAL STUDS COVERED ON BOTH SIDES w/ 5/8" GYPSUM BOARDS
- BRICK
- SMOKE DETECTOR + CARBON MONOXIDE DETECTOR AS PER L.L. 7\04 AND R.S. 17-13 + 17.4



SIDE ELEVATION
Scale: 1/8" = 1'-0"

DATE	REVISIONS

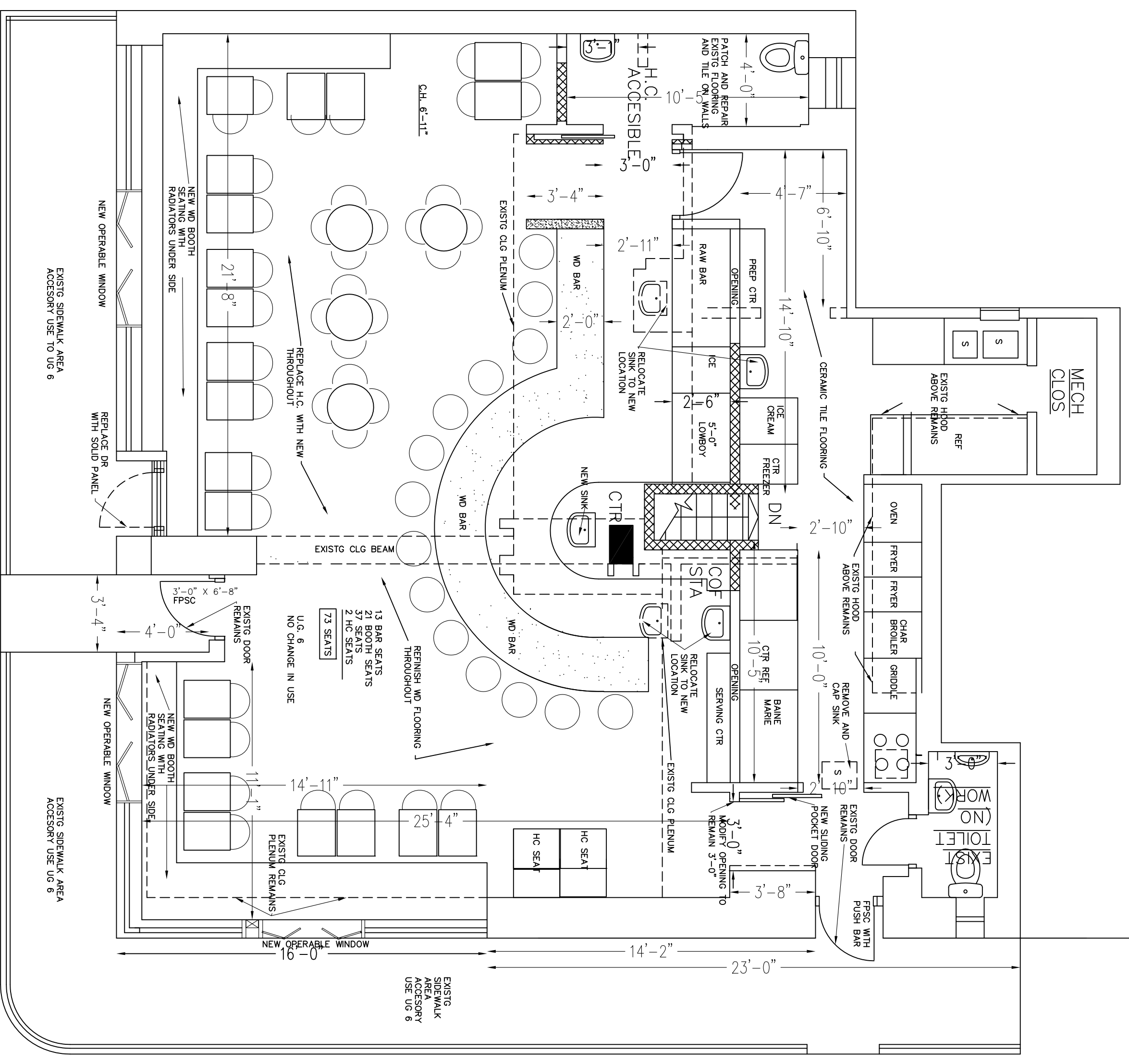
34-21 34 AVENUE
QUEENS, N. Y.
 DRAWING TITLE
 EXISTIG CONDITIONS
 FIRST FLOOR
 ELEVATIONS

ARCHITECT
 CHARLES D ZMEIBACH ARCHITECT

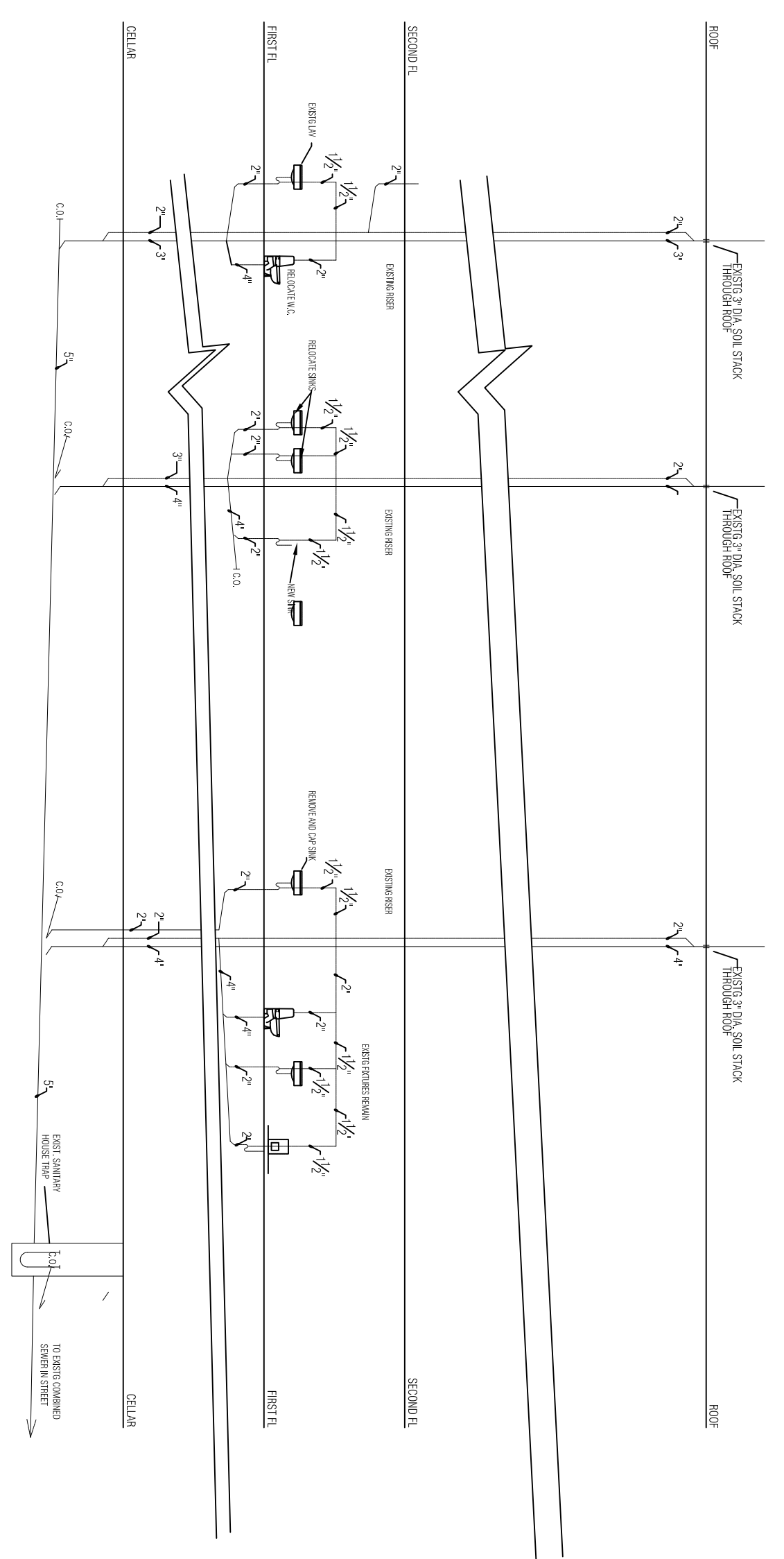
VIRTUAL ARCH QDM INC
 484 W 43 ST SUITE 37C
 NEW YORK, NY 10036
 917-902-3958

BIS NO.
 JOB#
A 101.00

2/3



PROPOSED FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



PLUMBING SANITARY RISER DIAGRAM
SCALE: N.T.S.

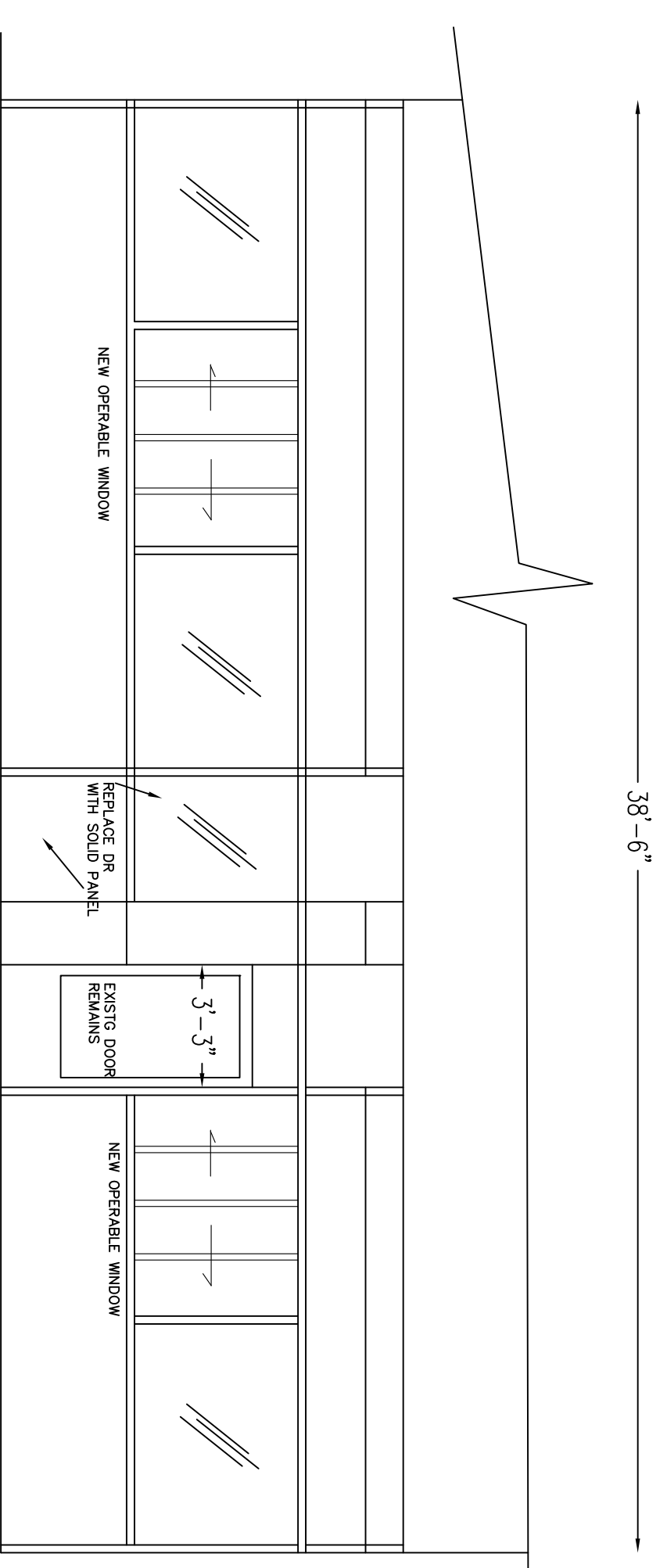
SYMBOLS

- EXISTING WALLS & PARTITIONS
- - - TO BE REMOVED
- ▨ NEW WOOD STUDS COVERED ON BOTH SIDES w/ 5/8" GYPSUM BOARDS
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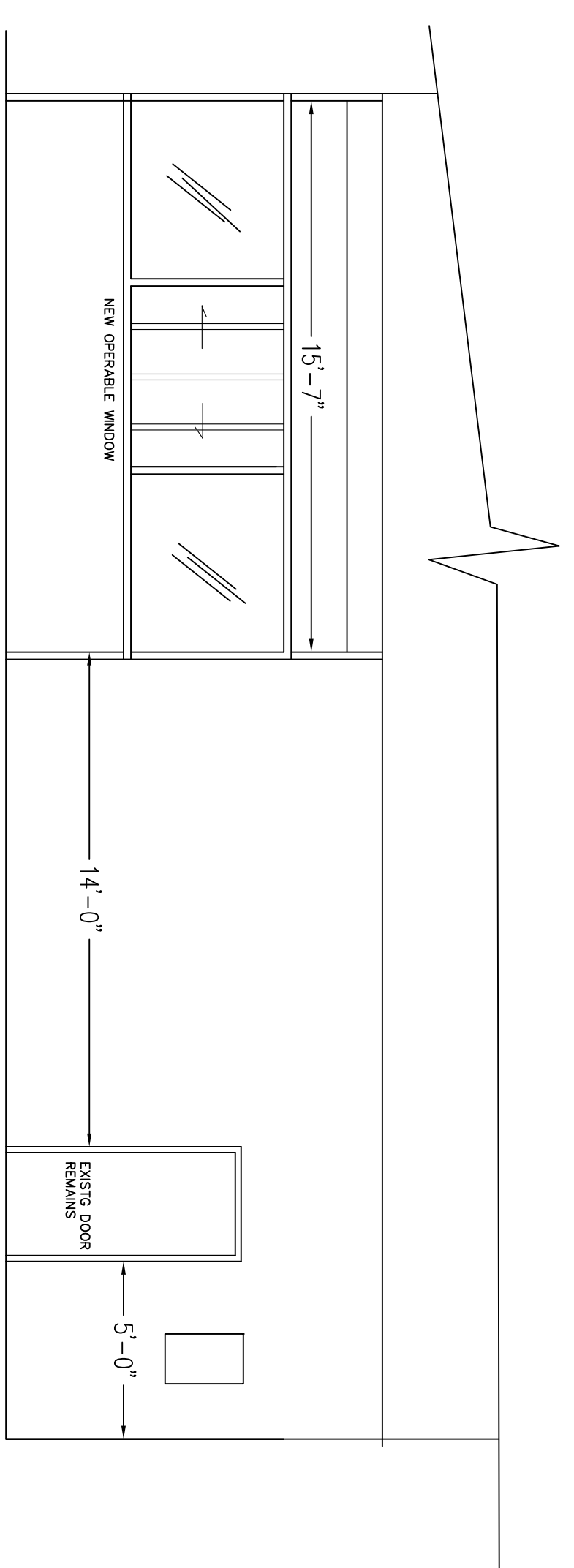
PROFESSIONAL STATEMENT :
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

ENERGY REQUIREMENTS TABLE 402.11

SCOPE OF WORK: MINOR INTERIOR RENOVATION- NEW FINISHES, FIXTURES AND PARTITIONS THROUGHOUT	PROPOSED	REQUIRED
ZONE 4 NEW YORK HEATING DEGREE DAYS: 4910		
FENESTRATION U-FACTOR	0.400	0.400
SUNLIGHT U-FACTOR	N/A	80
GLAZED FENESTRATION	0.85	0.85
CEILING R-VALUE	R-38	R-38
STUD WALL R-VALUE	R-15	R-15
MASS WALL R-VALUE	N/A	R-4
FLOOR R-VALUE	N/A EXIST	R-19
BASEMENT WALL R-VALUE	N/A EXIST	R-10/R-13
SLAB R-VALUE AND DEPTH	N/A	R-10
CRAWL SPACE WALL R-VALUE	N/A	R-10/R-13
HOT WATER HEATER	N/A	N/A



FRONT ELEVATION
Scale: 1/8" = 1'-0"



SIDE ELEVATION
Scale: 1/8" = 1'-0"

DATE	REVISIONS

34-21 34 AVENUE
QUEENS, N. Y.

DRAWING TITLE
PROPOSED CONDITION
FIRST FLOOR
ELEVATIONS

ARCHITECT
CHARLES D ZWEIBACH ARCHITECT

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