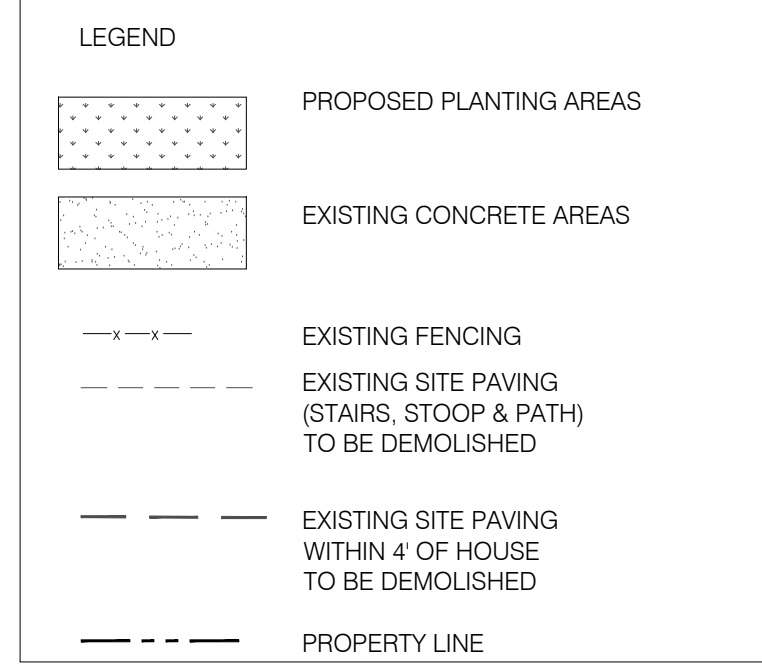


- SITE PLAN NOTES:**
- ALL GRADES SHOWN ARE EXISTING TO REMAIN WITHOUT CHANGE.
  - ALL SITE DRAINAGE TO REMAIN WITHOUT CHANGE.
  - PER ACCELERATE BUILD IT BACK PROGRAM, BPP WILL BE EITHER DEFERRED OR WAIVED DEPENDING ON EXISTING CONDITIONS.

**1 SITE PLAN**  
SCALE: 1/8"=1'-0"

- VISUAL MITIGATION REQUIREMENTS:**
- AS PER ZR 64-61 OF THE FLOOD RESISTANT AMENDMENT (10/9/15) IF LOWEST OCCUPIABLE > 9'-0" THEN (2) MITIGATION ELEMENTS ARE REQUIRED.
  - (2) MITIGATION ELEMENT PROVIDED IN THE FORM PLANTING AND PORCH
- LANDSCAPING PLAN NOTES:**
- WHEN REPLACING HARDSCAPE AND/OR PLANTED AREAS CONTRACTOR MUST INSTALL SIMILAR OR MATCHING MATERIALS AND PLANTINGS.
  - PROPOSED PLANTABLE AREAS SHALL BE POPULATED WITH NATIVE SPECIES OF VEGETATION. SPECIES MUST BE COMPLIANT WITH THE NYC PARKS AND RECREATION "SALT TOLERANT SPECIES LIST".
  - HARDSCAPE AND PLANTINGS TO BE APPROVED BY HOMEOWNER. FINAL PLANTING LOCATIONS TO BE APPROVED BY HOMEOWNER.
- VISUAL MITIGATION REQUIREMENTS**
- THIS APPLICATION UTILIZES AND COMPLIES WITH ZR 64-61, APPENDIX A
- WHERE THE LEVEL OF THE LOWEST OCCUPIABLE FLOOR IS FIVE FEET OR MORE ABOVE CURB LEVEL, AT LEAST ONE OF THE FOLLOWING VISUAL MITIGATION ELEMENTS
- (a) Porch
- Where provided as a mitigating element, a porch shall have a finished floor at least six inches below the #lowest occupiable floor# and have a width at least 70 percent of the aggregate width of all #street wall# within 25 feet of the #street line#. The depth of the porch must be at least five feet, and the porch may not be closer to the #street line# than five feet. Open porches shall count as one mitigating element
- (b) Stair direction change
- Where provided as a mitigating element, stairs shall be constructed between grade and the #lowest occupiable floor# or porch, as applicable, which shall change direction at least 90 degrees in plan at a point no lower or higher than two feet from the beginning and end of the stair run.
- However, no mitigation shall be required where more than 50 percent of the #street wall# of a #building# is within three feet of the #street line#.



**SPECIAL INSPECTIONS**

ALL MATERIALS DESIGNATED FOR "CONTROLLED INSPECTION" SHALL BE INSPECTED AND/OR TESTED TO VERIFY COMPLIANCE WITH CODE REQUIREMENTS, UNLESS OTHERWISE SPECIFICALLY PROVIDED BY CODE PROVISIONS. ALL REQUIRED INSPECTIONS AND TESTS OF MATERIAL SHALL BE MADE AND/OR WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER RETAINED BY OR ON BEHALF OF THE OWNER OR LESSEE.

OWNER WILL ENGAGE AND PAY FOR A SPECIAL INSPECTOR AND AN INDEPENDENT TESTING AGENCY TO PERFORM THE FOLLOWING SPECIAL INSPECTION AS SPECIFIED ON THE APPLICABLE SECTIONS OF THE NEW YORK CITY BUILDING CODE, CHAPTER 17, SECTION 1704. TECHNICAL REPORT STATEMENT OF RESPONSIBILITY TR-1 FORM SHALL BE FILLED WITH THE BUILDING DEPARTMENT FOR APPROVAL OF SPECIAL INSPECTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ADEQUATE PRIOR NOTICE FOR COMPLETION OF INSPECTIONS.

SPECIAL INSPECTIONS		
CONCRETE - CAST-IN PLACE	BC 1704.4	
SUB-GRADE INSPECTION	BC 1704.7.1	
SUBSURFACE INVESTIGATIONS (BORINGS/TEST PITS)	BC 1704.7.4	
STRUCTURAL STABILITY	BC 1704.20.1	
RAISING AND MOVING OF A BUILDING	BC 1704.20.5	
HEATING SYSTEMS	BC 1704.25	
FIRE-RESISTANT PENETRATIONS AND JOINTS	BC 1704.27	
FLOOD ZONE COMPLIANCE	BC 1704.29, BC G105	
PROGRESS INSPECTIONS		
FOOTING AND FOUNDATION	BC 110.3.1	
LOWEST FLOOR ELEVATION	BC 110.3.2	
STRUCTURAL WOOD FRAME	BC 110.3.3	
ENERGY CODE COMPLIANCE INSPECTIONS	BC 110.3.5	
FIRE-RESISTANCE RATED CONSTRUCTION	BC 110.3.4	
ENERGY CODE PROGRESS INSPECTIONS REQUIRED		
INSULATION PLACEMENT AND R-VALUES	IA2	
AIR SEALING AND INSULATION - VISUAL	IA6	
SHUTOFF DAMPERS	IB2	
HVAC AND SERVICE WATER HEATING EQUIPMENT	IB3	
HVAC AND SERVICE WATER HEATING CONTROLS	IB4	
MAINTENANCE INFORMATION	ID1	
PERMANENT CERTIFICATE	ID2	

**FIRE RATING AS PER TABLE 3-4 (CLASS II-D)**

EXTERIOR WALLS MORE THAN 3'-0" BUT LESS THAN 15'-0" FROM PROPERTY LINE

**1HR RATED - 1HR**

**RATED EXTERIOR WALLS PROVIDED**

COLUMNS SUPPORT ONE FLOOR (SUPPORTING ROOF LEVEL) **1HR RATED - 1HR**

**COLUMN ENCLOSURES PROVIDED**

FLOOR CONSTRUCTION INCLUDING BEAMS, ETC **1HR RATED - 1HR**

**RATED FLOOR CONSTRUCTION PROVIDED**

ROOF CONSTRUCTION INCLUDING BEAMS, ETC **NO RATING - 1HR**

**RATED CEILING PROVIDED, ROOF CONSTRUCTION DOES NOT REQUIRE A RATED ASSEMBLY (SEE NOTE)**

(TABULATED RATINGS FOR ROOF CONSTRUCTION APPLY TO BUILDINGS OVER 1 STORY IN HEIGHT. AS PER NOTE "h" OF TABLE 3-4, IN ONE STORY BUILDINGS ROOF CONSTRUCTION MAY BE OF MATERIAL 0 HOUR FIRE-RESISTANCE RATING)

SEE DETAILS ON SHEET A-003 FOR ASSEMBLY DETAILS  
SEE PLAN ON SHEET A-002 FOR COLUMN ENCLOSURE LOCATIONS

**DRAWING LIST**

- T-0001 TITLE PAGE
- Z-001.03 ZONING ANALYSIS, SITE / PLOT PLAN, CONSTRUCTION FENCE DETAIL
- G-001 F.I.R.M. & ZONING MAPS, AERIAL PHOTO
- G-002 GENERAL NOTES, TAX BILL & ENERGY ANALYSIS
- G-003 GENERAL NOTES, DETAILS, AND SCHEDULE
- G-004 WOOD FRAMING, DETAILS & NOTES
- A-001 (OMITTED)
- A-002.03 PROPOSED FIRST FLOOR PLAN
- A-003.03 PROPOSED SECOND FLOOR PLAN
- A-004 PROPOSED FRONT AND SIDE ELEVATIONS
- A-005.02 PROPOSED REAR AND SIDE ELEVATIONS
- A-006.02 PROPOSED SECTION AND DETAILS
- P-001.03 PLUMBING RISER DIAGRAMS AND DETAILS

**PROJECT ZONING DATA**

MAP / BLOCK / LOT	27B / 4092 / 21
ZONING DISTRICT	R3X
P.B.F.E.	AE B.F.E 13'-0" (D.F.E.: 15'-0")
FIRE DISTRICT	NO
OCCUPANCY CLASSIFICATION	1968 BC - J-3 RES
CONSTRUCTION CLASSIFICATION	1968 BC - CLASS II D
CERTIFICATE OF OCCUPANCY	NO
LOT AREA	2,400 SF
EXISTING FLOOR AREA	
EXISTING FIRST FLOOR DWELLING	1,140 SF
EXISTING SECOND FLOOR DWELLING	N/A N/A
TOTAL EXISTING STRUCTURES	1,140 SF
PROPOSED FLOOR AREA	
PROPOSED FIRST FLOOR DWELLING	1,140 SF
PROPOSED SECOND FLOOR DWELLING	N/A N/A
ALLOWABLE DEDUCTIONS (UTILITY CLOSET)	15 SF
TOTAL PROPOSED STRUCTURES	1,125 SF

**FAR CALCULATION**

ACTUAL FLOOR AREA RATIO	0.475
ALLOWABLE FLOOR AREA RATIO	0.5

**SETBACK REQUIREMENTS**

	R3X MIN. REQ	EXISTING	PROPOSED	COMPLIES	NON-COMPLIANCE ALLOWED AS PER ZR SEC/ (COMPLIANCE)
FRONT YARD (ZR 23-45)	10'-0" MIN.	9'-2 1/2"	9'-2 1/2"	NO	64-723
MIN. SIDE YARD (ZR 23-461)	2'-0" MIN.	2'-6" and 7'-0"	2'-6" and 7'-0"	NO	64-723
TOTAL SIDE YARD (ZR 23-461)	10'-0" MIN.	9'-6"	9'-6"	NO	64-723
REAR YARD (ZR 23-47)	30'-0" MIN.	6'-3 1/2"	6'-3 1/2"	NO	64-723
BUILDING HEIGHT (ZR 23-631)	35'-0" MAX.	24'-2 3/4"	32'-7 3/4" * (FROM PRICE)	YES	
PERIMETER WALL HT (ZR 23-631)	21'-0" MAX.	16'-6"	24'-11" * (FROM PRICE)	YES	
PLANTING (ZR 23-451)	30% OF LOT	N/A	12'-0"		

FLOOR AREA RATIO	R3X	EXISTING	PROPOSED	COMPLIES	NON-COMPLIANCE ALLOWED AS PER ZR ART. 4 (COMPLIANCE)
LOT AREA (ZR-23-32)	3,325 S.F. MIN	2,400 SF	2,400 SF	NO	64-723
LOT WIDTH (ZR 23-32)	35' MIN.	40'	40'	YES	
FLOOR AREA (ZR 23-142)	N/A	1,140 SF	1,140 SF	YES	
FLOOR AREA RATIO (ZR 23-142)	0.5 MAX	.475	.475	YES	

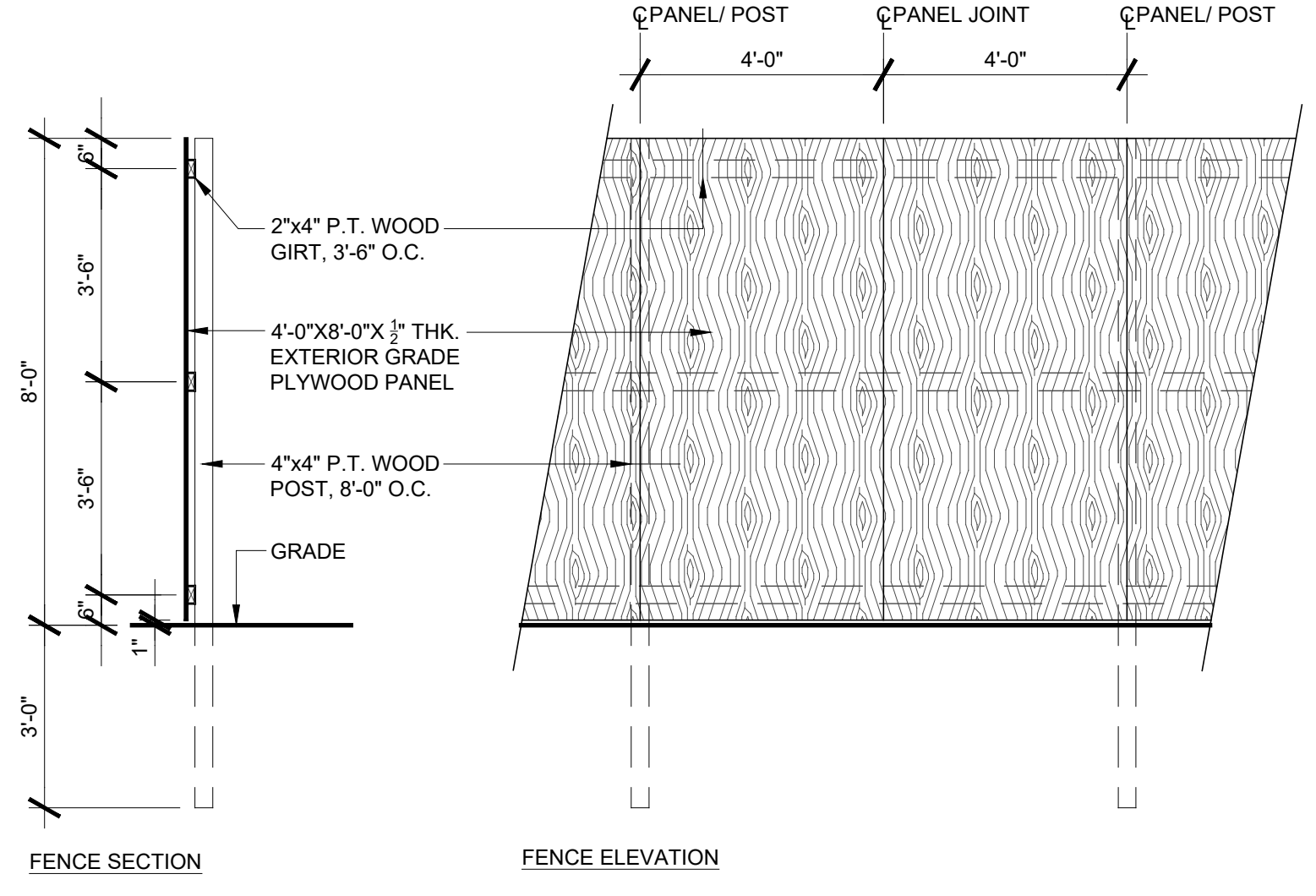
LOT COVERAGE (ZR 23-142)	R3X MAX	EXISTING	PROPOSED	COMPLIES
FOOTPRINT AREA S.F.	Governed by Yard Requirements	1,140 SF	1,140 SF	YES
LOT COVERAGE %		Complies	Complies	YES

PARKING SPACE	R3X MAX	EXISTING	PROPOSED	COMPLIES
PARKING SPACE (MINIMUM)	1	1	1	YES

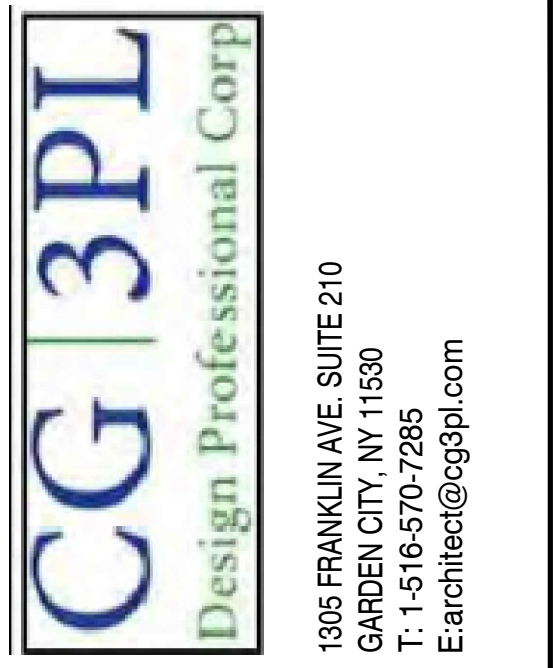
\* Per Section 6.1 of the ACCELERATE BUILD IT BACK GUIDE, no parking is required if the property did not previously provide off-street parking

SPRINKLERED	YES	** SPRINKLER WILL BE FILED UNDER SEPARATE APPLICATION
-------------	-----	---

- NOTES:**
- CONSTRUCTION FENCE SHALL BE PAINTED HUNTER (OR DARK) GREEN.
  - CONTRACTOR IS RESPONSIBLE FOR LOCATING FENCE ON SITE AS REQUIRED BY THEIR CONSTRUCTION ACTIVITIES, SITE SAFETY PROGRAM AND NYC REQUIREMENTS.
  - PROVIDE 12"x12" VIEWING PANELS ENCLOSED WITH PLEXIGLAS OR A SIMILAR MATERIAL @ 25" O.C. @FRONTAGE. THE TOP OF THE VIEWING PANEL MUST BE LOCATED NO MORE THAN 6 FEET ABOVE THE LEVEL OF THE GROUND, AND THE BOTTOM OF THE VIEWING PANEL MUST BE LOCATED NO LESS THAN 3 FEET ABOVE THE LEVEL OF THE GROUND.
  - CONSTRUCTION FENCES MUST HAVE PROJECT INFORMATION PANELS THAT MEET STYLE, GUIDE CONTENT, COLOR, FONT, MATERIAL, AND SIZE REQUIREMENTS AS PER NYC DOB.



**2 CONSTRUCTION FENCE DETAIL**  
SCALE: 3/8"=1'-0"



PAA	REV	DESCRIPTION	DATE
		DWG LIST PAA UPDATE	12-18-17
		DWG LIST MIN PLAN CHANGE	3-29-18
		PAA Dwg. No. changes	7-16-18

APP - 019521  
**MIRKIN RESIDENCE**  
33 NEUTRAL AVE  
STATEN ISLAND, NY 10306

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CHARLES ZWEIBACH AIA



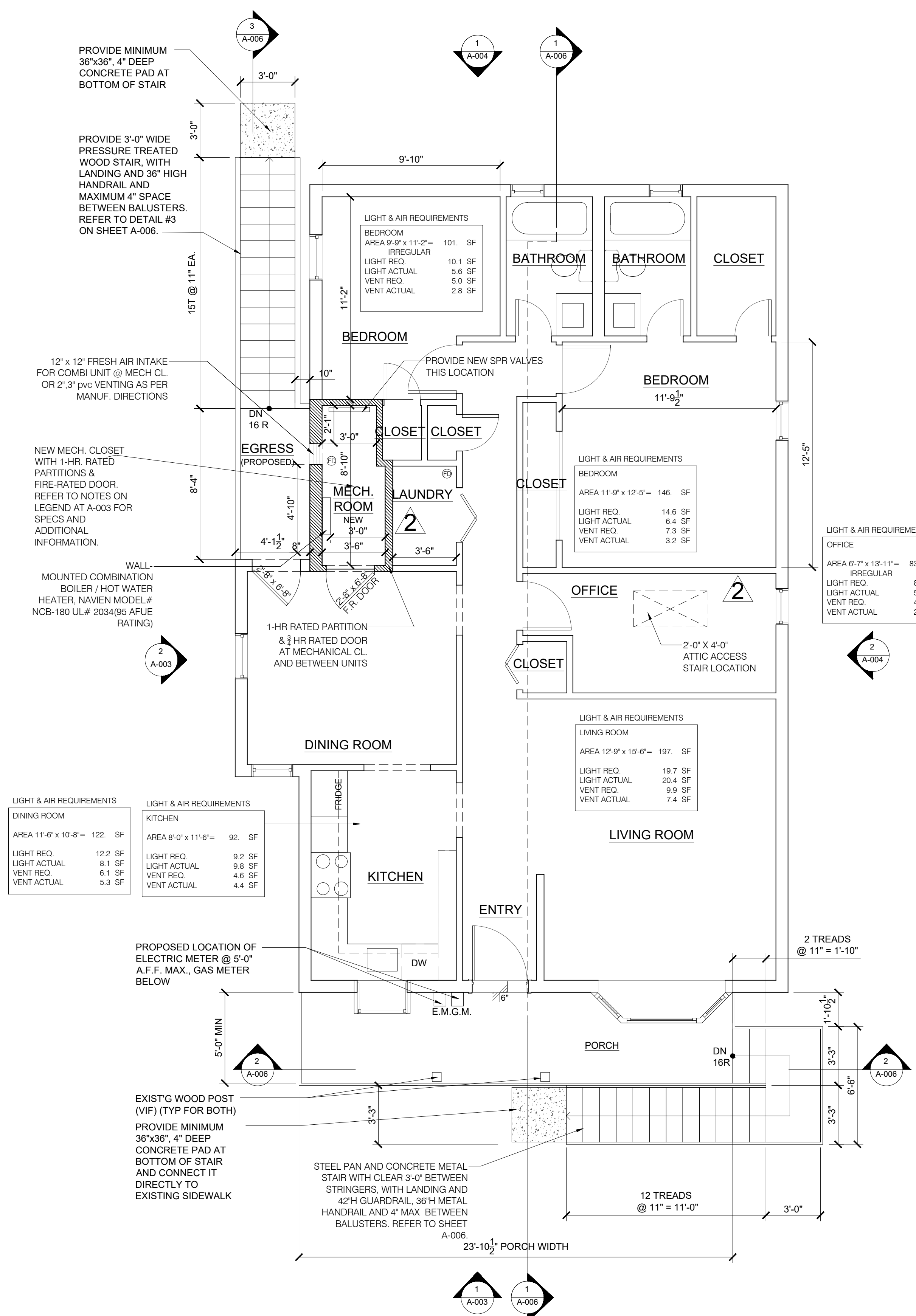
DRAWING TITLE: ZONING ANALYSIS, MAPS, DRAWINGS LIST, SPECIAL INSPECTIONS

STATEN ISLAND	BLOCK: 4092	LOT: 21
DATE: 11-04-16	APP #: 019521	SCALE: AS NOTED
DESIGN BY: AE	DRAWN BY: CZ	CHECKED BY: CZ
DWG. NO.		

**Z-001.03**  
SHEET 2 OF 2

DOB APPROVAL





**1** PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

**TYPICAL MECHANICAL ROOM NOTES:**

- FOR WD. FR. FLOOR - PROVIDE 1/2" CONC. BD. BY "DUROCK" (OR EQUAL)
- FOR WD. FR. CLG. AND/OR WALLS - PROVIDE (1) LAYER OF 5/8" TYPE "X" GYP. BD. ON EACH SIDE OF WALL (OMIT ON CONC. WALLS) TO COMPLY WITH UL DESIGN U305
- WHEN NEW, INSTALL FURANCE/BOILER AS PER MANU.
- WHEN EXIST. MECH. EQUIP. SHALL BE VERIFIED THAT IT CONFORMS TO NYC MECH. AND FUEL GAS CODE
- COMB. AIR VOLUME AS PER MANU. SPEC.'S - PROVIDE FRESH AIR INTAKE FROM EXTERIOR
- MAINTAIN OR PROVIDE FURANCE/BOILER EMERGENCY SHUT OFF SWITCH
- FOR GAS SERVICE, PROVIDE GAS SHUT OFF SWITCH.
- PROVIDE MINIMUM 18" CLEARANCE BETWEEN BOILERS & ENCLOSING WALL PARTITIONS. PROVIDE 3'-0" CLEARANCE IN FRONT OF BOILER/ FURNACE FOR MAINTENANCE.
- PROVIDE ELECTRIC LIGHT
- PROVIDE 12"x12" FIXED REGISTER WITH B.S.A. APPROVED TYPE FIRE DAMPER WITH FUSIBLE LINK.
- INSTALLATION OF EQUIPMENT SHALL COMPLY WITH B.S.A / M.E.A. APPROVAL. BUILDING CODE REQUIREMENTS, DEPARTMENT OF BUILDINGS RULES & REGULATIONS, AND MANUFACTURER'S SPECIFICATIONS (LATEST EDITION)

**TYPICAL MECHANICAL ROOM NOTE EQUIPMENT SPECS:**

- ALL MECHANICAL SYSTEMS SHALL CONFORM TO THE "NYC BUILD IT BACK PROGRAM, GENERAL REQUIREMENTS AND SPECIFICATIONS, LATEST EDITION.
- MECHANICAL SPECIFICATIONS PROVIDED BELOW ARE PRELIMINARY AND SHOULD BE USED FOR REFERENCE PURPOSES ONLY. FINAL SPECIFICATIONS SHALL BE CONFIRMED BY GENERAL CONTRACTOR IN FIELD. SEE FLOOR PLAN FOR SYSTEM TYPE AND EQUIPMENT.
- PROVIDE HORIZONTAL GAS-FIRED FURNICE AND AIR HANDLING UNIT WITH A MINIMUM SEER RATING OF 14 AND A MINIMUM BTU OUTPUT OF 40,000. UNIT SHALL BE SIMILAR OR EQUAL TO COMPLYING UNIT MANUFACTURED BY CARRIER.
- PROVIDE DOMESTIC HOT WATER HEATER SIMILAR OR EQUAL TO GE MODEL S60T12AVG. 40 GAL. WARRANTY: MINIMUM 7 YEARS; PROVIDE MATERIAL FOR A COMPLETE INSTALLATION. HEATER SHALL BE 240 V. HAVE CUT-OFF VALVE ON COLD WATER SUPPLY, AND A THERMAL AND PRESSURE SAFETY RELIEF VALVE. SHALL COMPLY WITH THE NEW YORK CITY BUILDING CODE.
- ALL WORK MUST CONFORM TO THE FOLLOWING CODES AND REGULATIONS ADOPTED BY ITS PARTICIPATING LOCAL GOVERNMENTS:
  - NEW YORK CITY BUILDING CODE ("NYCBC")
  - NEW YORK CITY MECHANICAL CODE ("NYCMC")
  - NEW YORK CITY ENERGY CONSERVATION CODE ("NYCECC")

**NEW SIDING NOTES:**

- CEMENT FIBER SIDING SHALL BE SIMILAR OR EQUAL TO LAP SIDING MANUFACTURED BY JAMES HARDIE.
- SIDING SHALL BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS AND THE NYC BUILDING CODE.
- INSTALLED CEMENT SIDING SHALL CONFORM TO THE MINIMUM STANDARDS OF THE BUILD IT BACK PROGRAM.
- SIDING SHALL BE INSTALLED OVER AN APPROVED WATERPROOF MEMBRANE.
- FASTENERS SHALL BE CONCEALED AND JOINT FLASHING AND BASE FLASHING SHALL BE INSTALLED WHERE REQUIRED.
- PROVIDE ALL NECESSARY TRIM FOR PROPER INSTALLATION.
- SIDING SHALL EXTEND TO BOTTOM OF FOUNDATION GIRDERS (ON OPEN FOUNDATIONS -WHEN APPLICABLE)
- PROVIDE NECESSARY SHEATHING FOR PROPER INSTALLATION

**FIRE PROTECTION REQUIREMENT NOTES:**

- THE BUILDING SHALL HAVE A FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH CHAPTER 9 AND APPENDIX Q OF THE NYC BUILDING CODE.
- THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED BY OTHERS AND INSTALLED UNDER SEPARATE PERMIT.
- THE BUILDING WILL BE PROVIDED WITH INTERCONNECTED SMOKE AND CARBON MONOXIDE ALARMS, DESIGNED IN ACCORDANCE WITH SECTION 907.2.11 OF THE NYC BUILDING CODE.
- THE UNDERSIDE OF THE BUILDING EXTERIOR, FOR THOSE BUILDINGS NOT UTILIZING A CLOSED FOUNDATION, SHALL HAVE AN EXTERIOR ASSEMBLY THAT PROVIDES A 2-HOURS FIRE RESISTANCE RATING.
- THE HEIGHT FROM GRADE PLANE TO THE HIGHEST WINDOW SILL LEADING TO A HABITABLE SPACE MAY NOT EXCEED 32 FEET.

**SYMBOL LEGEND**

- SMOKE AND CARBON MONOXIDE COMBINATION DETECTOR - AS INDICATE ON PLANS
- 75 CFM BATHROOM EXHAUST FAN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- NEW 1 HR RATED WALL TO MATCH EXISTING (OR OTHERWISE NOTED)
- CMU WALL
- EXISTING WALL INSTALL NEW FIRE RESISTANCE RATED 5/8" TYPE "X" GYPSUM BOARD (1-HOUR FIRE RATED)

**CONSTRUCTION PLAN NOTES:**

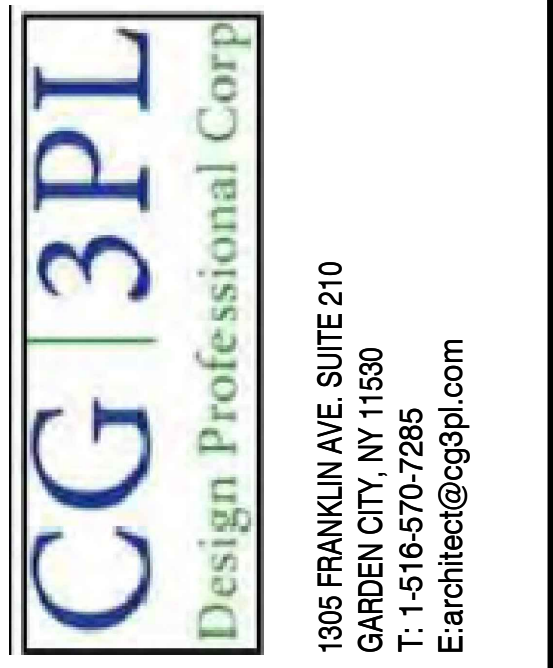
- NEW MECHANICAL ROOM TO BE PROVIDED ON THE FIRST FLOOR. MECHANICAL SHALL BE ELEVATED TO THE PROPOSED D.F.E. (UNIT TO BE INSPECTED & VERIFIED THAT IT CONFORMS TO NYC MECHANICAL & FUEL & GAS CODE. PROVIDE DIRECT VENT EXHAUST FOR COMBUSTION AIR AS PER CODE & MANUFACTURER'S SPECIFICATIONS)
- PROVIDE 1-HR FIRE SEPARATION WALL AND DOOR BETWEEN MECHANICAL ROOM & ADJACENT ROOMS.
- INSTALL NEW FIRE-RATED 5/8" DENSGLASS FIREGUARD TYPE "X" GYPSUM BOARD ON EXTERIOR WALLS LESS THAN 3' AWAY FROM PROPERTY LINE AS PER NYC BUILDING CODE
- ALL NEW STAIRS TO HAVE A MAXIMUM 8-1/4" RISER AND MINIMUM 9" TREAD
- STAIR RAILINGS TO HAVE VERTICAL BALUSTERS NOT MORE THAN 3 1/2" SPACE APART. 42" HIGH
- ALL GLAZING WITHIN 18" OF FF TO BE TEMPERED GLASS
- SEE LANDSCAPING PLAN FOR NEW PLANTINGS AS PER SECTION CODE
- CONTRACTOR IS REQUIRED TO COORDINATE ALL METER LOCATIONS WITH UTILITY (GAS, WATER, & ELECTRIC) COMPANIES & COMPLY WITH THEIR REQUIREMENTS AS WELL AS NYC BUILDING CODE & APPENDIX G REQUIREMENTS.

**DOOR & WINDOW NOTES:**

- ALL EXTERIOR DOORS & WINDOWS SHALL BE FLASHED AND OPENINGS SEALED TO PREVENT WATER AND AIR INFILTRATION
- GLAZED OPENINGS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE NYECC LATEST EDITION.
- WINDOW OPENINGS IN SLEEPING ROOMS SHALL CONFORM TO THE CLEAR OPENING WIDTH, OPENING AREA AND SILL HEIGHT REQUIREMENTS OF THE NYC BUILDING CODE.

**LIGHTING AND ELECTRICAL NOTES**

- PROVIDE SWITCH CONTROLLED CEILING MOUNTED LIGHTING FIXTURES OR CEILING FANS IN LIVING ROOM AND BEDROOMS AS SELECTED BY OWNER
- PROVIDE 3-WAY SWITCHED WIRING AT TOP AND BOTTOM OF INTERIOR STAIRS, AND AT LOCATIONS AS REQUIRED BY CODE.
- ALL HALLWAYS SHALL BE PROVIDED WITH CEILING MOUNTED FIXTURE(S) WITH 3-WAY SWITCHES.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE SWITCH CONTROLLED FROM INTERIOR.
- PROVIDE SELF REGULATING HEAT TRACE ON ALL PIPING SUBJECT TO FREEZING.
- PROVIDE CABLE TV WIRING TO LIVING ROOM AND BEDROOMS
- WHERE THE PROJECT PROPOSES INSTALLATION OF A GENERATOR HOOK-UP TO PROVIDE EMERGENCY POWER, PROVIDE MANUAL INDOOR 6-CIRCUIT GENERATOR TRANSFER SWITCH WITH REMOTE POWER INLET BOX, REMOTE INLET BOX TO BE LOCATED BELOW STRUCTURE.
- PROVIDE DOOR BELLS AT FRONT ENTRY DOOR.
- PROVIDE EXTERIOR GFI RECEPTACLES AT FRONT AND REAR OF STRUCTURE



PAA	REV	DESCRIPTION	DATE
	1	COMBO BOILER	9-13-17
		ATTIC ACCESS STAIR	3-29-18
		MECH RM EQUIP LOCATION	3-29-18
		PAA Dwg. No. changes	7-16-18

**APP - 019521**  
**MIRKIN RESIDENCE**  
**33 NEUTRAL AVE**  
**STATEN ISLAND, NY 10306**

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**CHARLES ZWEIBACH AIA**



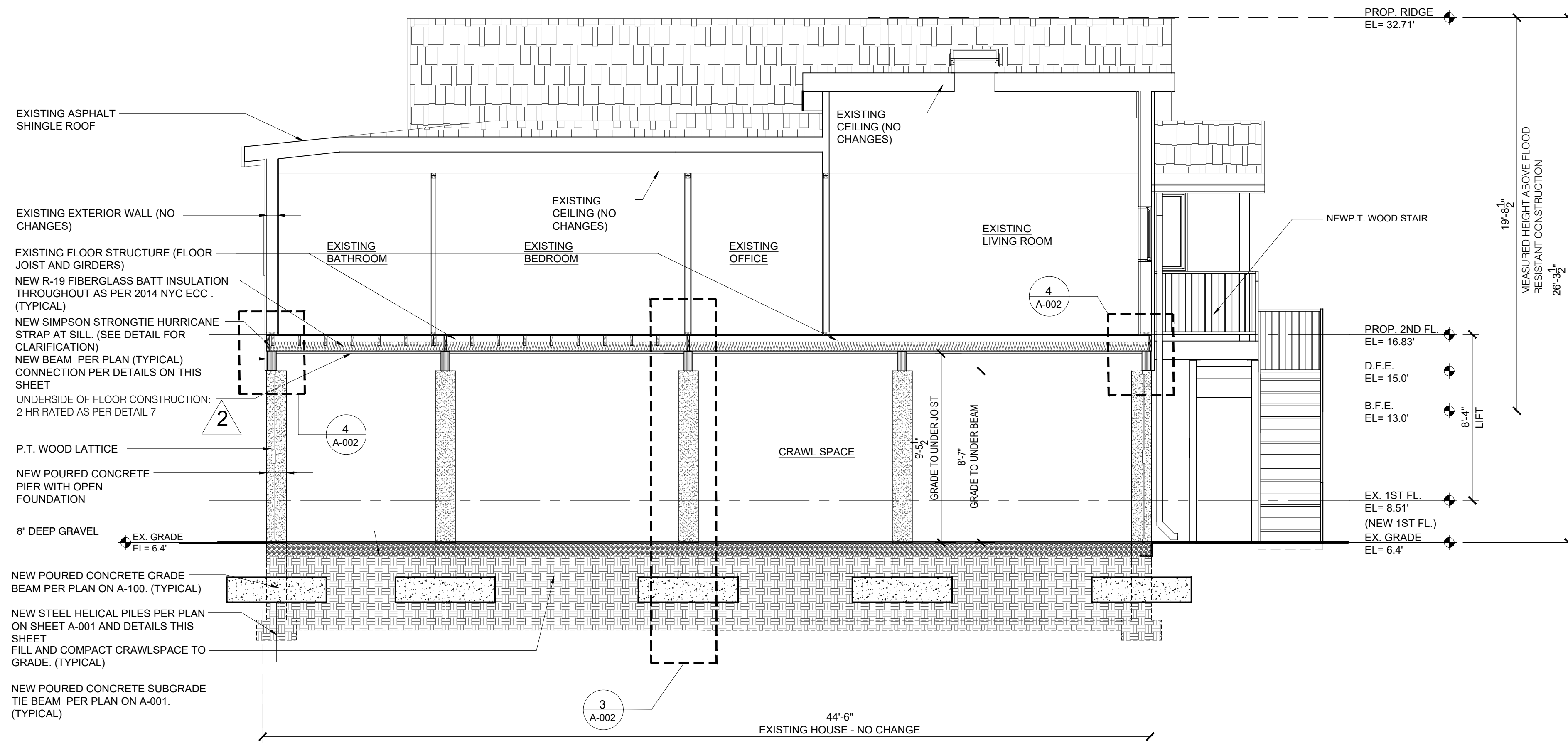
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**PROPOSED 2ND FLOOR PLAN**

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 DATE: 11-04-16 APP #: 019521 SCALE: AS NOTED  
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 DWG. NO.

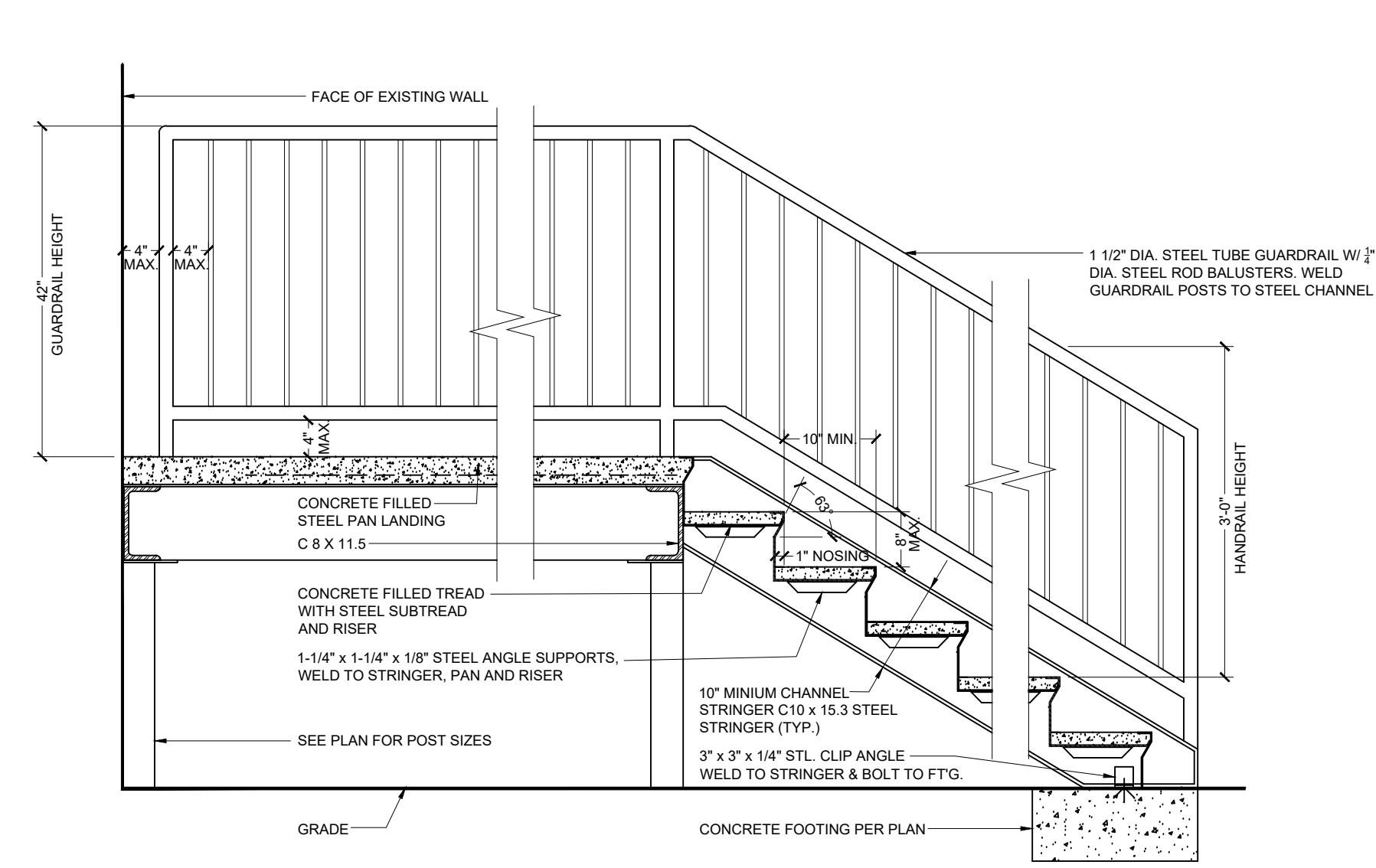
**A-003.03**  
SHEET 9 OF 3

DOB APPROVAL

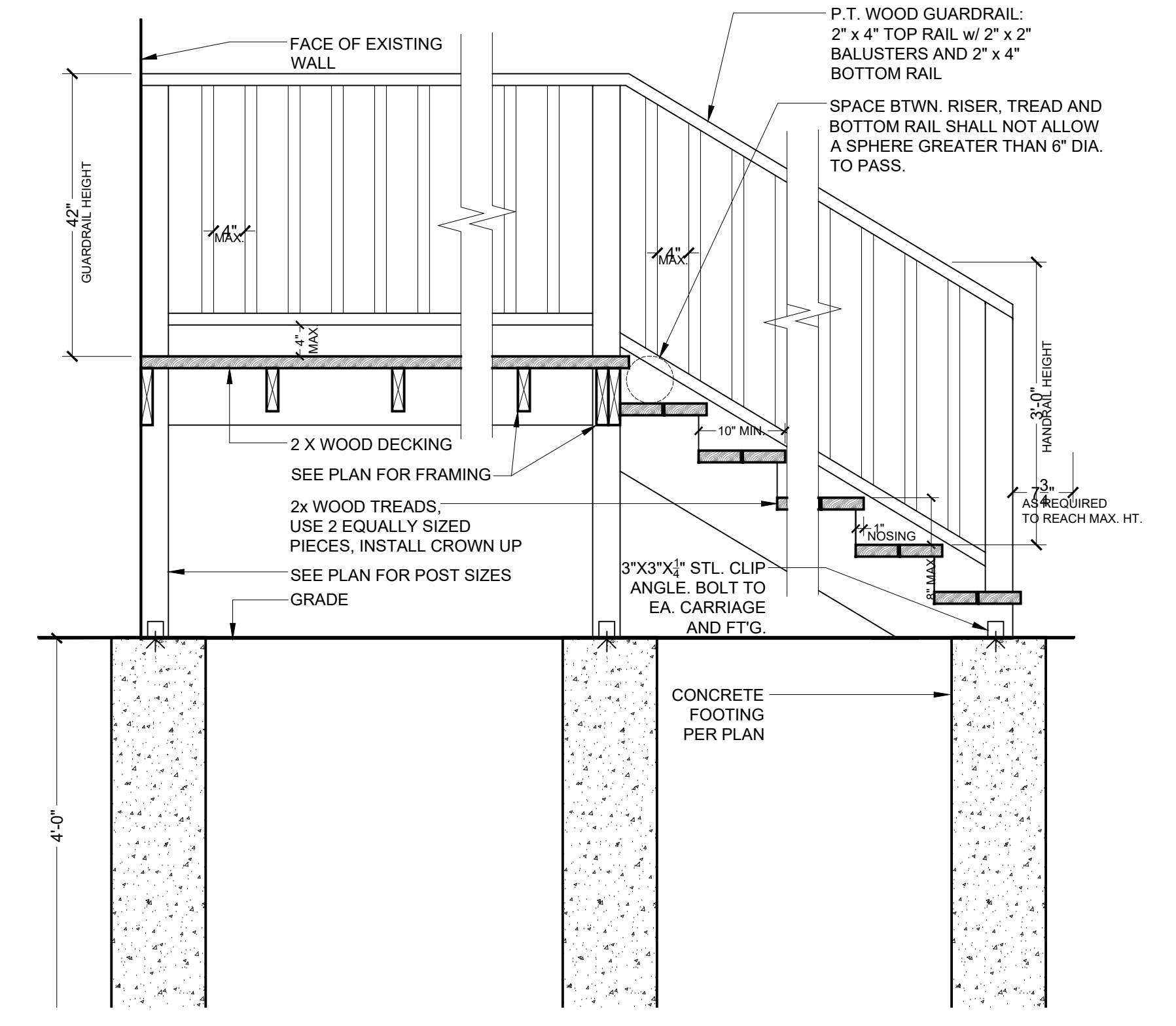




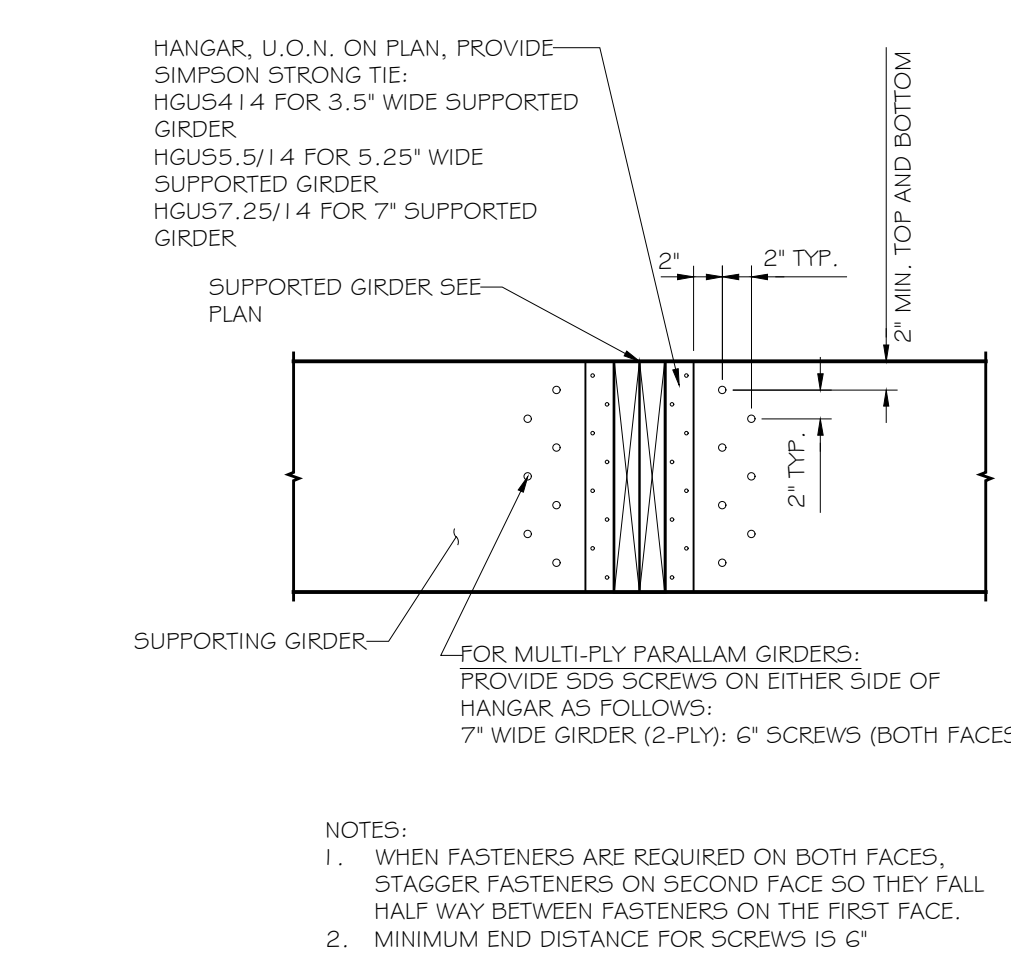
**1 SECTION A-A**  
SCALE: 1/4"=1'-0"



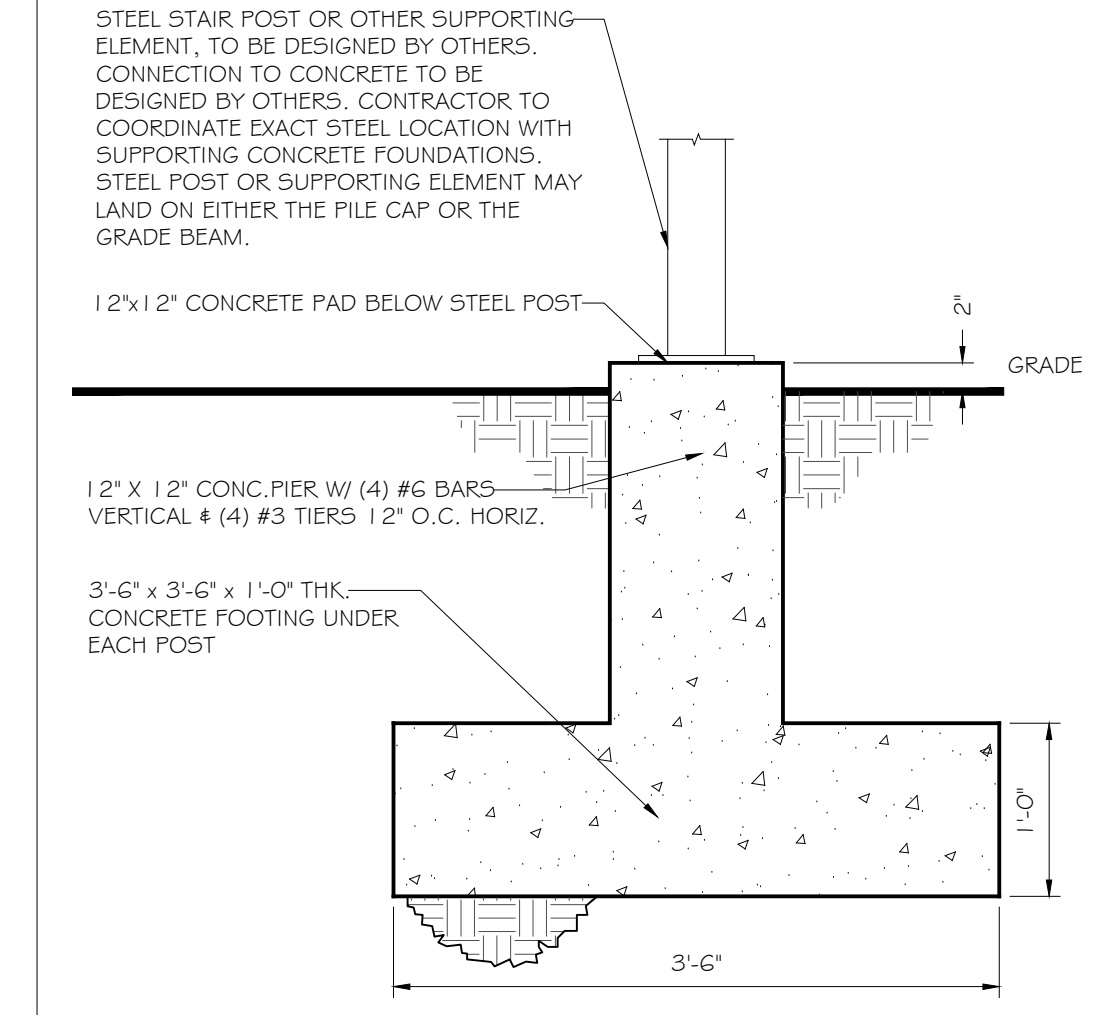
**2 TYP. STEEL & CONCRETE STAIR DETAIL**  
SCALE: 3/4"=1'-0"



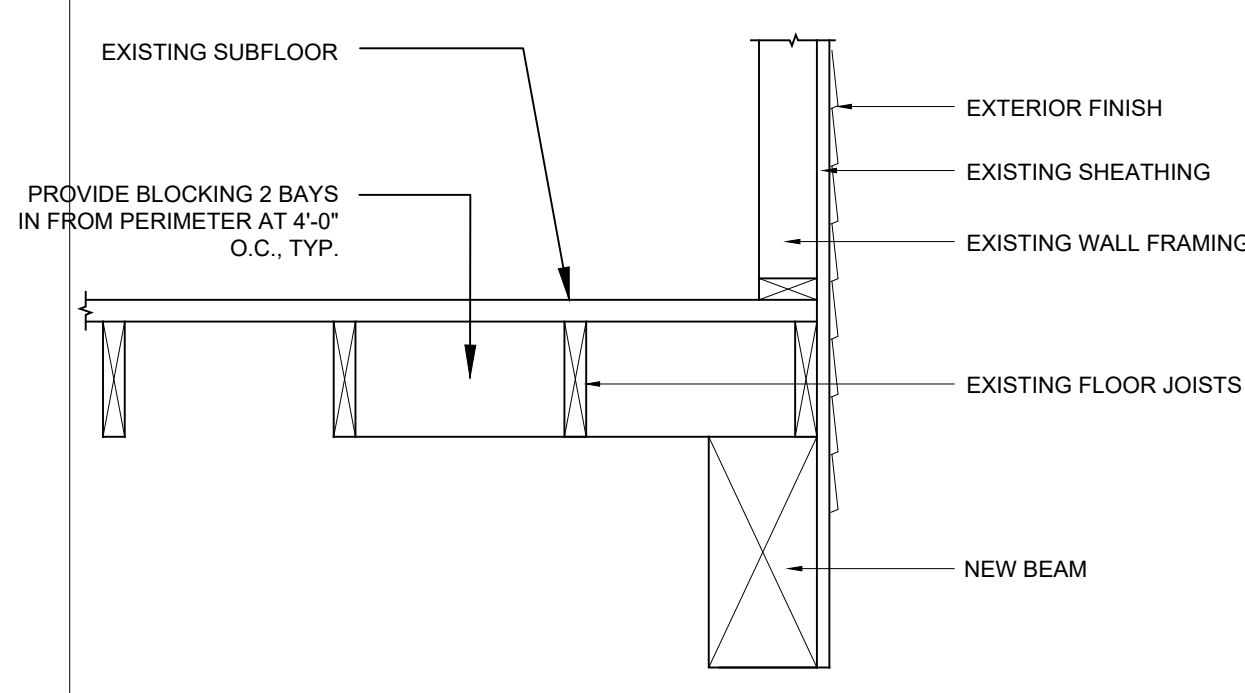
**3 TYP. WOOD STAIR DETAIL**  
SCALE: 3/4"=1'-0"



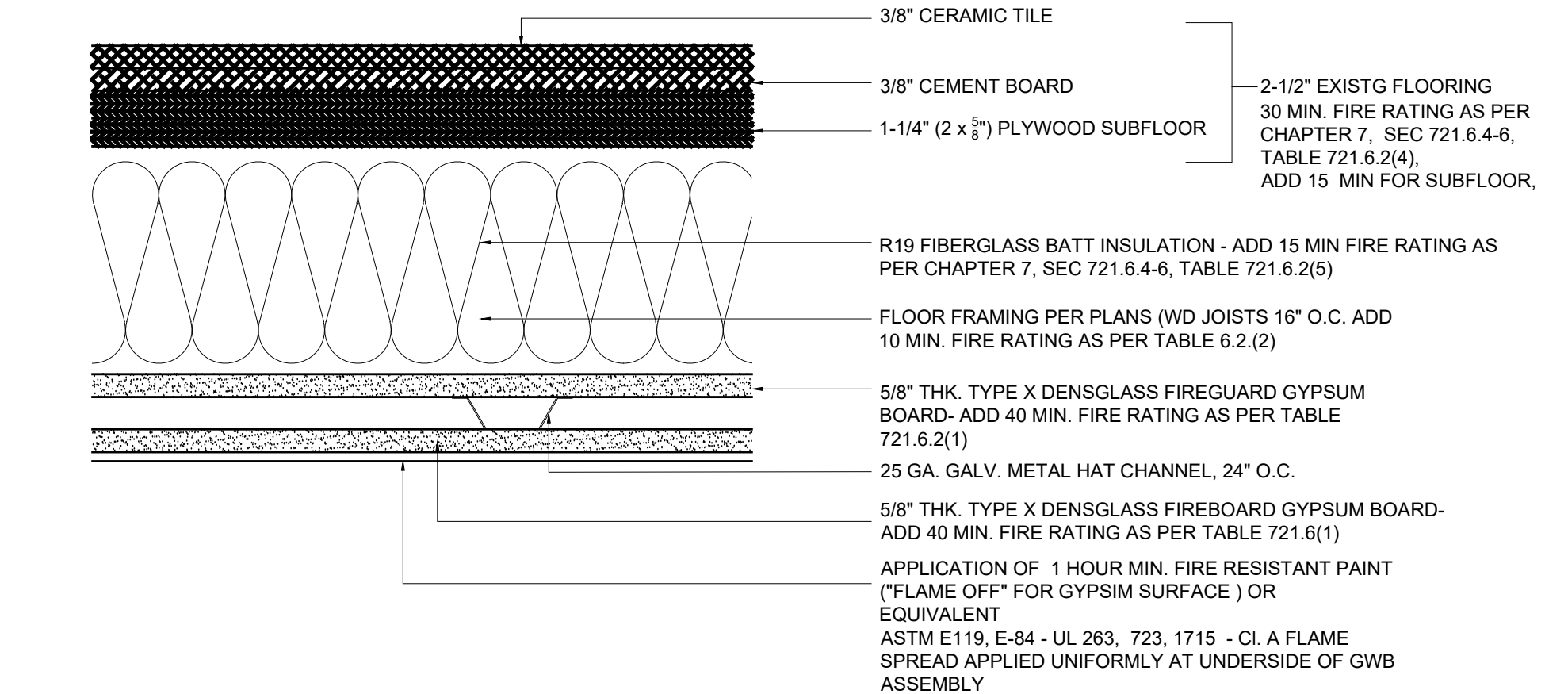
**6 TYP. GIRDER TO GIRDER CONNECTION DETAIL**  
NOT TO SCALE



**5 TYP. STAIR FOUNDATION DETAIL**  
NOT TO SCALE



**4 PERIMETER BLOCKING DIAGRAM**  
NOT TO SCALE



NOTE: 2 HOUR MIN FIRE RATING FLOOR-CEILING ASSEMBLY TO CONFORM TO THE REQUIREMENTS OF CHAPTER 7 BUILDING CODE SEC 721.6.4-6, SEC 721.6.2.1, TABLE 721.6.2(1-5)

FIRE RATING:  
15 MIN - 2.5" EXIST FLOORING  
15 MIN - FIBERGLASS BATT INSULATION IN FLOOR  
40 MIN - 5/8" DENSGLASS FIREGUARD GWB (=TYPE X GWB) +MTL CHANNEL  
40 MIN - 5/8" DENSGLASS FIREGUARD GWB (= TYPE X GWB)  
120 MIN TOTAL ACHIEVED FIRE RATING+  
60 MIN. FIRE RATED PAINT AT UNDERSIDE  
180 MIN FIRE RATING FOR GUARANTEED OVER 2 HR RAING ACHIEVED

**7 2 HR MIN. FLOOR FIRE RATED ASSEMBLY**  
SCALE: NTS

PA#	REV	DESCRIPTION	DATE
1	1	UTILITY SHAFT FLOOD VENTS	3-23-18
2	1	2 HR FIRE RATING DETAIL	3-31-18
3	1	PA# Dwg. No. changes	7-16-18

APP - 019521  
**MIRKIN RESIDENCE**  
33 NEUTRAL AVE  
STATEN ISLAND, NY 10306

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CHARLES ZWEIBACH AIA



DRAWING TITLE: **PROPOSED SECTIONS & DETAILS**

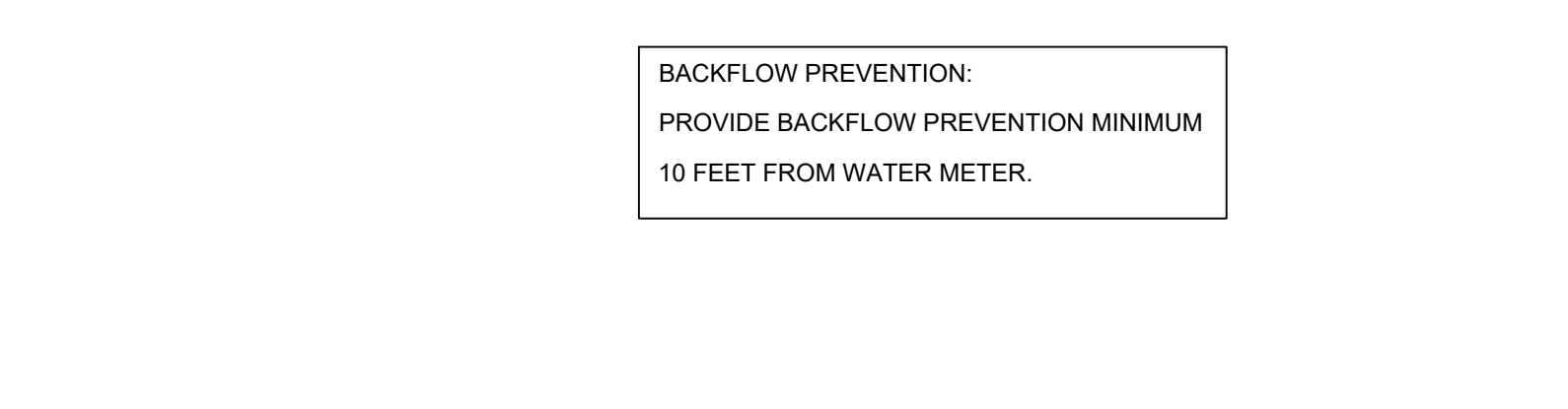
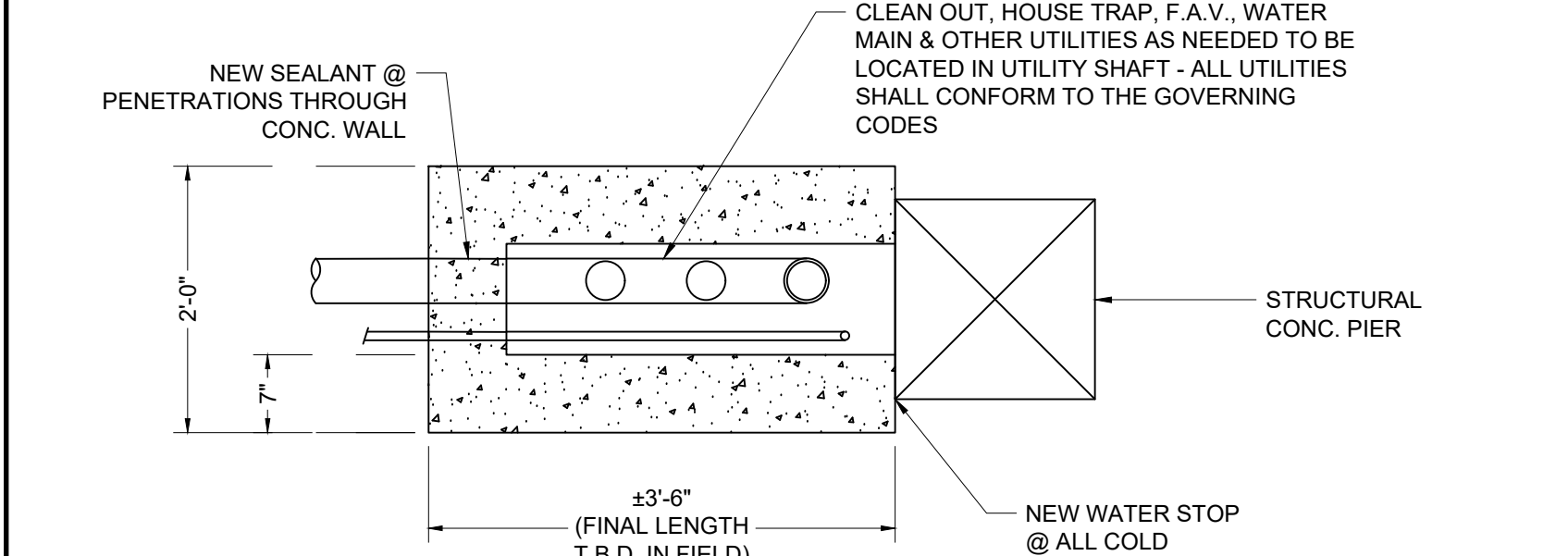
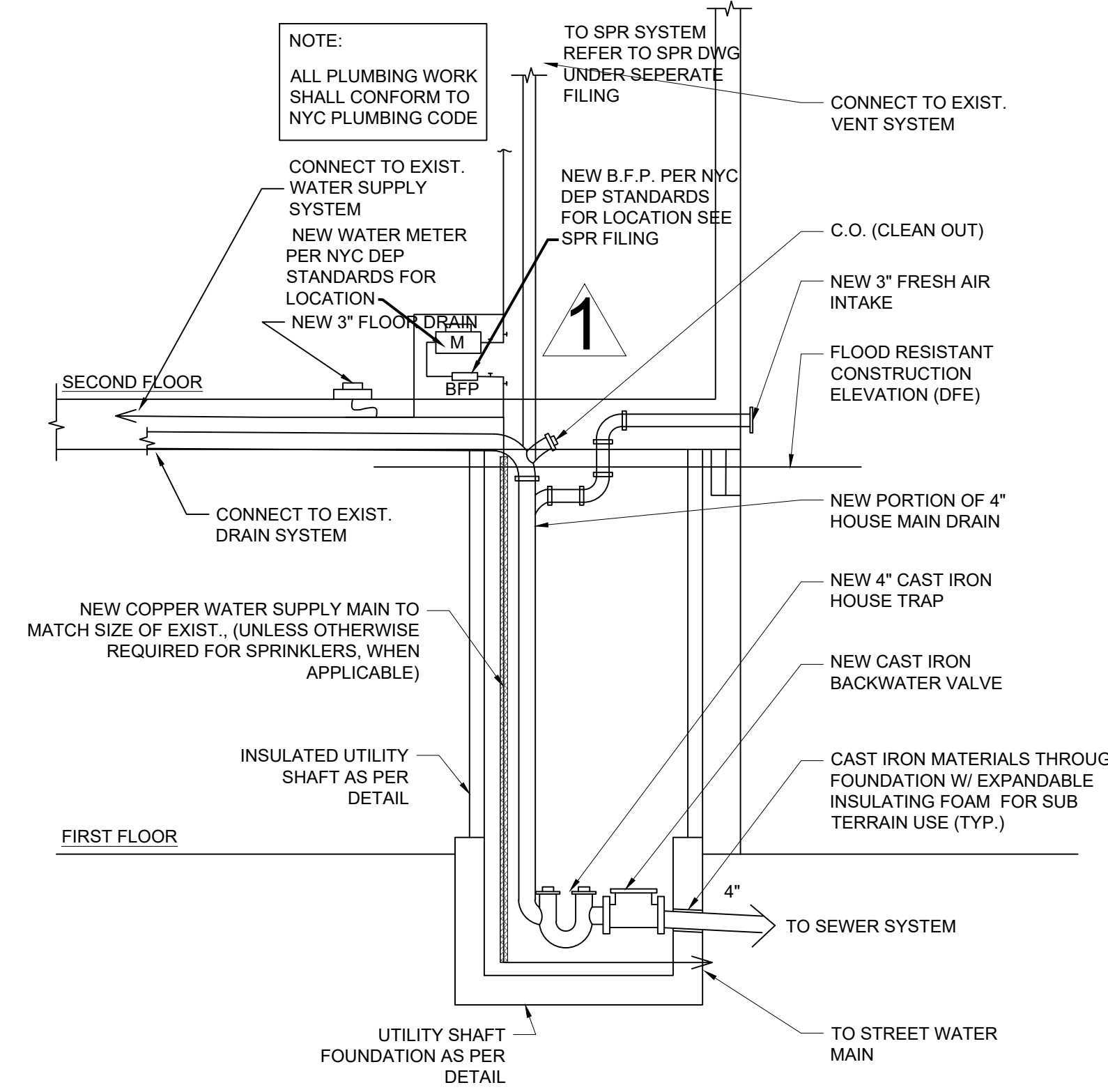
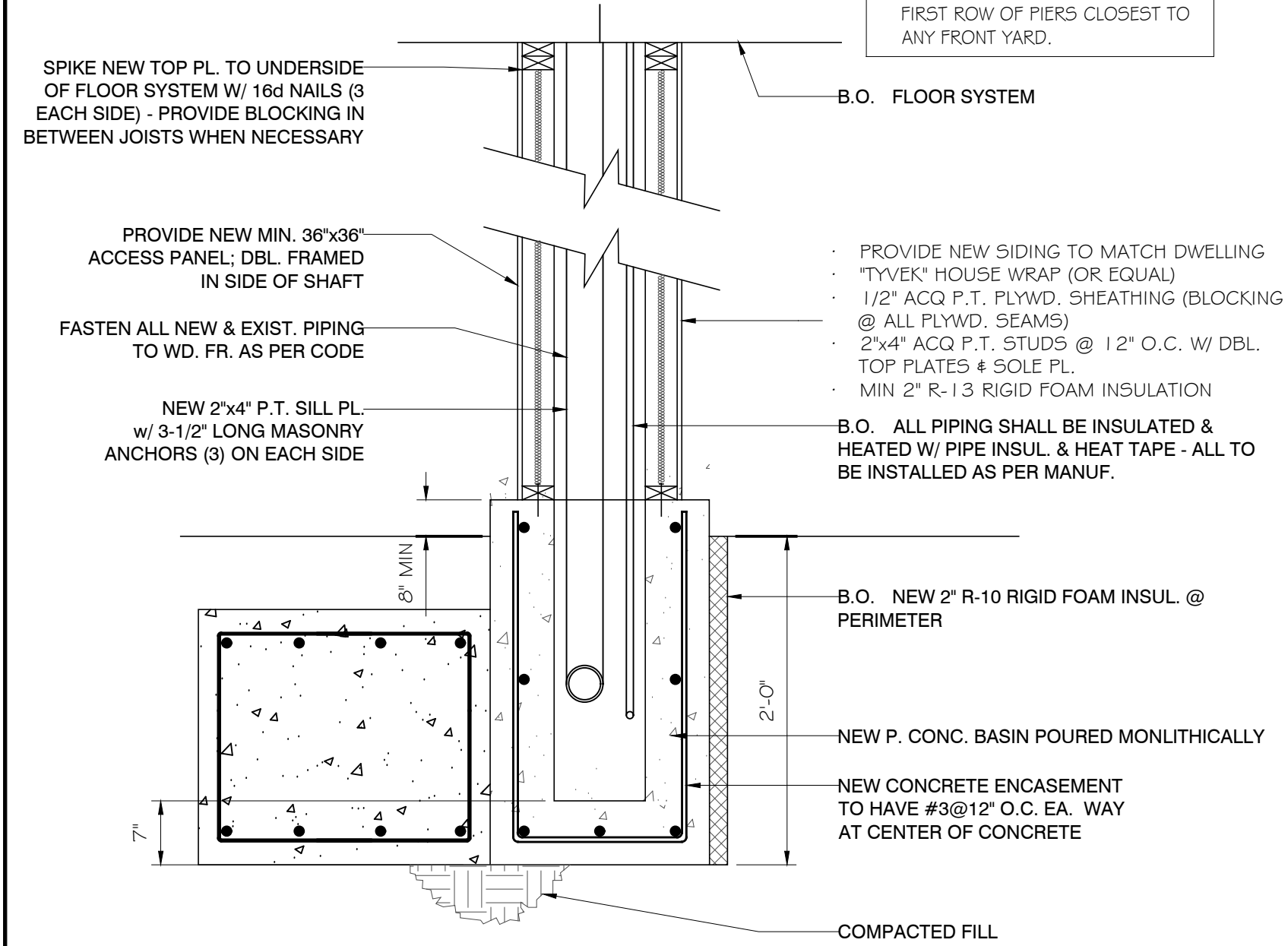
DOB APPROVAL

STATEN ISLAND:	BLOCK: 4092	LOT: 21
DATE: 11-04-16	APP #: 019521	SCALE: AS NOTED
DESIGN BY: AE	DRAWN BY: CZ	CHECKED BY: CZ

**A-006.02**  
SHEET 12 OF 17

NOTE:  
ALL WORK BELOW DFE SHALL BE IN COMPLIANCE WITH BC G304.1.1.3 ONLY FLOOD-DAMAGE RESISTANT MATERIALS AND FINISHES SHALL BE UTILIZED BELOW THE DFE SPECIFIED IN ASCE 24

NOTE:  
1. CONTRACTOR TO LOCATE UTILITY SHAFT IN FIELD ADJACENT TO STRUCTURAL PIER (IN REAR OF BUILDING IF POSSIBLE) W/ COORDINATION OF UTILITY SERVICES ENTERING PROPERTY.  
2. UTILITY SHAFT SHALL NOT HAVE ITS LONG DIMENSION PARALLEL TO ANY STREET ABUTTING PROPERTY ON THE FIRST ROW OF PIERS CLOSEST TO ANY FRONT YARD.



**UTILITY SHAFT DETAIL**  
NOT TO SCALE

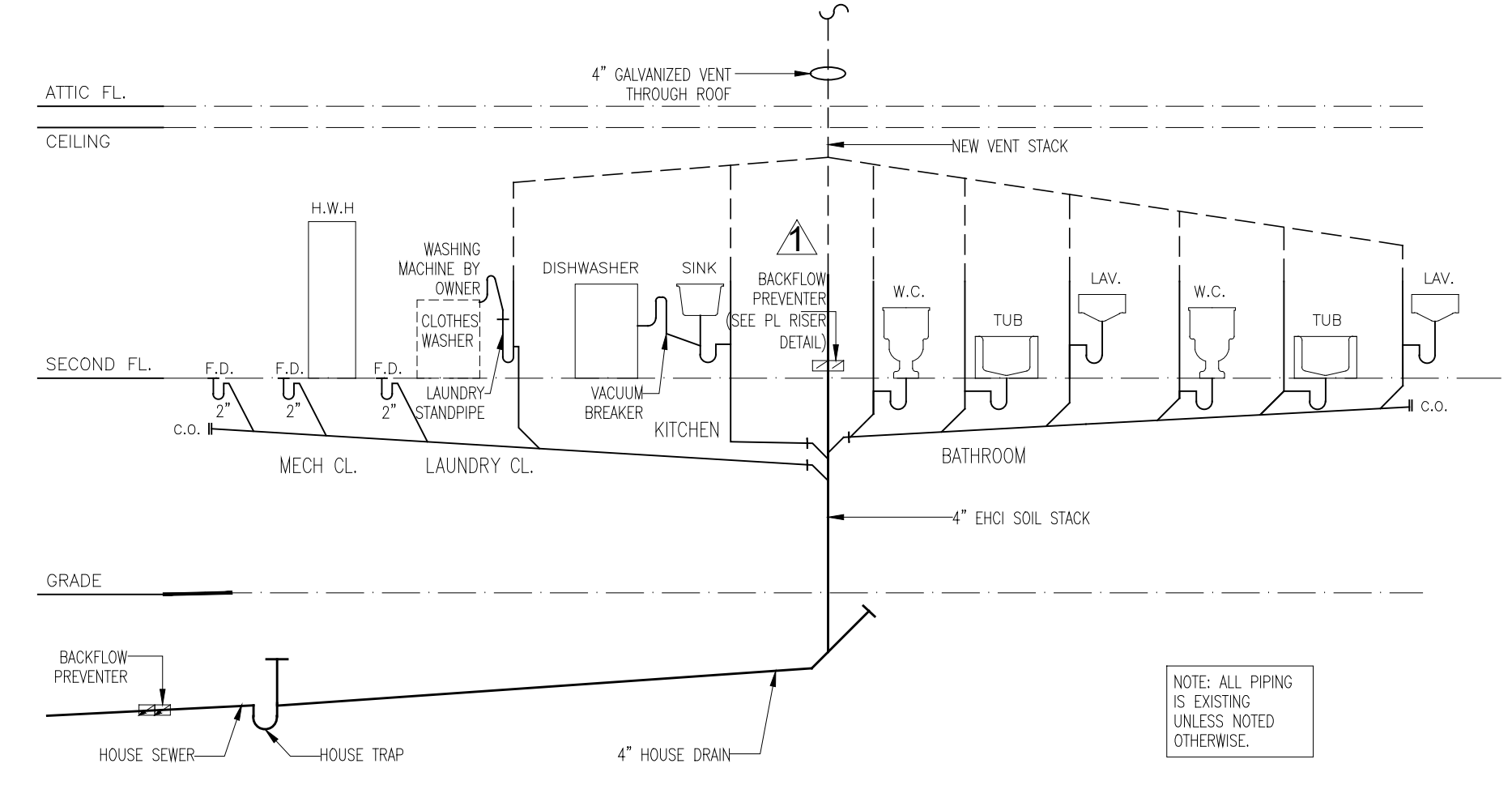
**PLUMBING RISER - DRAIN / WASTE / VENT / SUPPLY**  
NOT TO SCALE

- DAM OF CIRCULAR OPENING CUT THROUGH GYPSUM WALLBOARD ON EACH SIDE OF WALL ASSEMBLY TO BE MIN 1/4" MIN. TO 1/2" MAX. LARGER THAN OUTSIDE DIAMETER OF PENETRATION
- ANNULAR SIZE: NOM 1/4" MAX.
- STEEL PIPE - NOM 1 1/2" DIA (OR SMALLER) SCHEDULE 10 (OR HEAVIER)
- IRON PIPE - NOM 1 1/2" DIA (OR SMALLER) CAST OR DUCTILE IRON PIPE
- CONDUIT - NOM 6" DIA (OR SMALLER) STL ELC METALLIC TUBING OR STL CONDUIT
- COPPER TUBING - NOM 6" DIA (OR SMALLER) TYPE L (OR HEAVIER) COPPER TUBING
- COPPER PIPE - NOM 6" DIA (OR SMALLER) REGULAR (OR HEAVIER) COPPER PIPE
- SEALANT FILL MATERIAL TO BE FORCED INTO THE ANNULUS TO MAXIMUM EXTENT POSSIBLE. ADDITIONAL FILL MATERIAL TO BE INSTALLED SUCH THAT A MIN. 1/2" CROWN IS FORMED AROUND THE PENETRATING ITEM LAPPING 1/4" BEYOND THE PERIPHERY OF THE OPENING

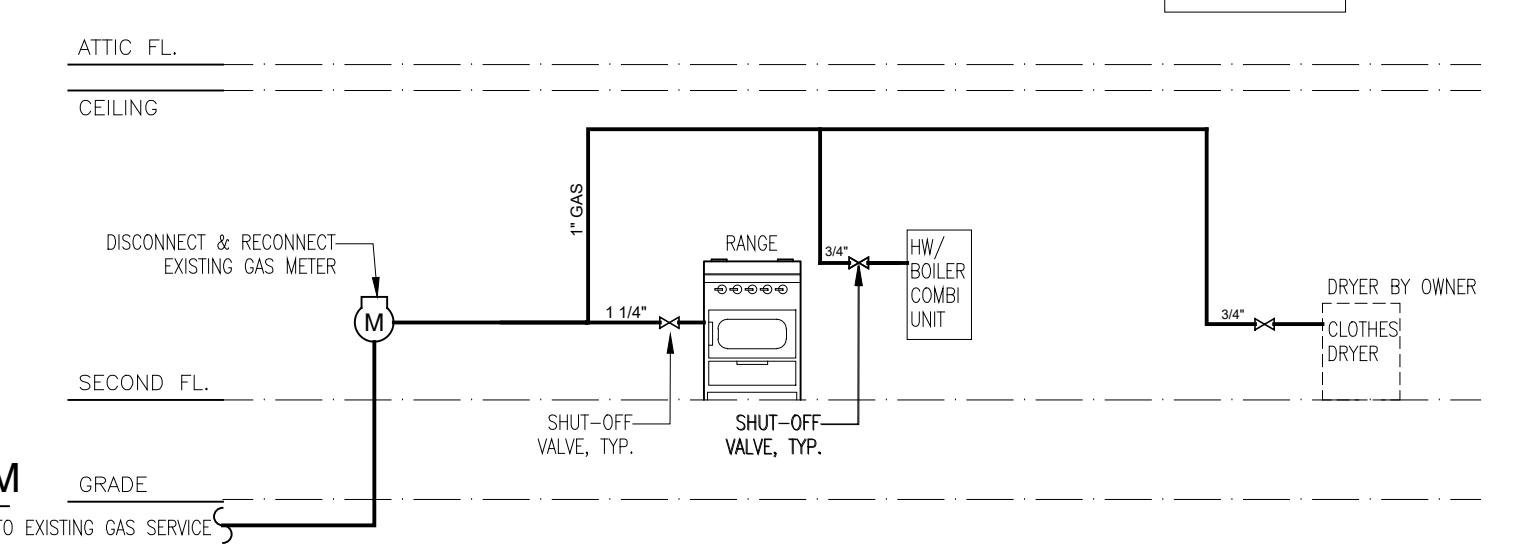
- METALLIC SLEEVE: (OPTIONAL) - NOM 8" DIA (OR SMALLER) SCHEDULE 40 (OR HEAVIER) STEEL PIPE. CAST OR GROUTED INTO FLOOR, FLUSH WITH FLOOR OR WALL SURFACES. INSIDE DIA OF SLEEVE TO BE 1 1/2" TO 2" LARGER THAN OUTSIDE DIA OF INSUL. PIPE
- PIPE: NOM 4" DIA (OR SMALLER) TYPE L (OR HEAVIER) COPPER PIPE OR SCHEDULE 10 (OR HEAVIER) STEEL PIPE CENTERED IN THE OPENING AND RIGIDLY SUPPORTED ON BOTH SIDES OF FLOOR
- PIPE COVERING: MAX 1" THICK HOLLOW CYLINDRICAL HEAVY DENSITY (MIN 3.5 PCF) GLASS FIBER UNITS HACKED ON THE OUTSIDE WITH AN ALL SERVICE JACKET
- PACKING MATERIAL: MIN 4 PCF MINERAL WOOL BATT INSULATION FIRMLY PACKED INTO ANNULAR SPACE AS A PERMANANT FORM. PACKING MATERIAL TO EXTEND THROUGHOUT THICKNESS OF FLOOR OR WALL ASSEMBLY EXCEPT FOR A MIN 1" RECESS ON EACH SIDE OF THE FLOOR ASSEMBLY
- SEALANT: APPLIED TO FILL THE ANNULAR SPACE TO A MIN DEPTH OF 1" FLUSH WITH BOTH SURFACES OF FLOOR ASSEMBLY. ADDITIONAL MATERIAL TO BE APPLIED TO COVER EDGE OF SLEEVE & TO LAP APPROX. 3/4" ONTO FLOOR OR WALL SURFACE ON EACH SIDE OF ASSEMBLY

**THROUGH-PENETRATION FIRESTOP @ VERT./HORIZ. PARTITION, 2-HR ASSEMBLY**  
NOT TO SCALE  
UL SYSTEM W-L-1211

**THROUGH-PENETRATION FIRESTOP @ CONC. FLOOR, 2-HR ASSEMBLY**  
NOT TO SCALE  
UL SYSTEM C-BJ-5007



**PLUMBING RISER DIAGRAM**  
NOT TO SCALE



**GAS RISER DIAGRAM**  
NOT TO SCALE

**NEW YORK CITY BUILDING DEPARTMENT PLUMBING NOTES**

THE PLUMBING SYSTEMS (SANITARY, WASTE, VENT, WATER DISTRIBUTION AND GAS) AND ALL ASSOCIATED EQUIPMENT WILL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE FULL REQUIREMENTS OF THE NEW YORK CITY 2008 PLUMBING CODE.

- THE SANITARY SYSTEM SHALL BE PROVIDED IN FULL ACCORDANCE WITH THE GENERAL PROVISIONS OF SECTION PC301.
- THE MATERIALS USED IN THE PLUMBING SYSTEMS WILL BE PROVIDED IN FULL ACCORDANCE WITH SECTIONS PC302 AND PC303.
- EQUIPMENT HOOK-UP AND THE JOINING WILL BE FULL COMPLIANCE WITH SECTIONS PC605 AND PC705.
- THE INSTALLATION OF FIXTURES WILL BE IN FULL ACCORDANCE WITH PC CHAPTER 4.
- TRAPS FOR FIXTURES AND DRAIN LINES WILL BE PROVIDED AND CLEANOUTS INSTALLED IN FULL COMPLIANCE WITH SECTIONS PC412, PC708 AND PC CHAPTER 10.
- VERTICAL AND HORIZONTAL PIPING WILL BE HUNG AND SUPPORTED AS DIRECTED IN SPECIFICATIONS AND WITH THE FULL COMPLIANCE WITH SECTION PC308.
- THE WATER SUPPLY SYSTEMS OF THE SUBJECT BUILDING SHALL BE INSTALLED AND MAINTAINED IN FULL COMPLIANCE WITH PC CHAPTER 6.
- THE SANITARY DRAINAGE SYSTEM WILL BE SIZED AND INSTALLED IN FULL COMPLIANCE WITH PC CHAPTER 7.
- THE VENT PIPING FOR THE SANITARY DRAINAGE SYSTEM OF THE SUBJECT BUILDING WILL BE INSTALLED IN FULL COMPLIANCE WITH SECTION PC702 & PC CHAPTER 9.
- THE STORM DRAINAGE SYSTEM AND PIPING WILL BE INSTALLED IN FULL COMPLIANCE WITH PC CHAPTER 11.
- GAS PIPING AND EQUIPMENT WILL BE INSTALLED IN FULL COMPLIANCE WITH THE NEW YORK CITY FUEL GAS CODE.
- ALL TRENCHING SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION PC306.
- RAT PROOFING SHALL BE IN ACCORDANCE WITH SECTION PC304.
- TEMPORARY TOILET FACILITIES SHALL BE PROVIDED FOR WORKMAN AS PER SECTION PC311.

**MECHANICAL, ELECTRICAL, AND PLUMBING NOTES**

- ALL NEW PLUMBING TO COMPLY WITH 2014 NYC PLUMBING CODE.
- CONTRACTOR SHALL INSTALL WATER SUPPLY, DRAIN, WASTE, AND VENT (DWV) SYSTEMS TO NYC PLUMBING CODE AND NYC DEP REGULATIONS.
- PROVIDE HOT AND COLD SHUT OFF VALVES AT ALL FIXTURES.
- ALL WATER PIPING TO HAVE CLEAN OUTS AT ALL CHANGES IN DIRECTION AND AT BASE OF VERTICAL WASTE PIPES.
- USE 4" CAST IRON THROUGH FOUNDATION WALL AND PITCHED AT 1/8" PER FOOT.
- GENERAL TRAP AND WASTE SIZES AS FOLLOWS, U.O.N.:
 

DISH WASHER	2"
KITCHEN SINK	2"
LAVATORY	2"
SHOWER/TUB	2"
TOILET	4"
LAUNDRY	2"
- ALL SYSTEMS TO HAVE ONE 3" MAIN VENT STACK, INCREASED TO 4" THROUGH ROOF.
- PROVIDE FROST PROOF HOSE BIBS WITH EASILY ACCESSIBLE DRAIN & DRAIN COCKS AS REQ'D. HOSE BIBS SHALL BE PROVIDED WITH BACKFLOW PROTECTION.
- WASTE FROM CLOTHES WASHERS AND LAUNDRY TUBS ARE TO BE PROVIDED WITH BACKFLOW PROTECTION.
- THE WATER SUPPLY AND SANITARY SYSTEM SHALL COMPLY WITH LOCAL HEALTH DEPARTMENT STANDARDS AND REGULATIONS.
- APPROVAL AND INSPECTION IS REQ'D BY LOCAL JURISDICTION PRIOR TO CONCEALMENT OF PLUMBING.
- NOTCHING AND BORING OF STUDS, JOISTS, RAFTERS AS PER BUILDING CODE. NO NOTCHING AND BORING OF STRUCTURAL MEMBERS SHALL BE PERMITTED NOR ANY POTENTIAL DAMAGE THEREOF.
- ALL NEWLY INSTALLED ELECTRICAL WORK OR APPLIANCES SHALL CONFORM TO CHAPTER 27 OF NYCBC & NYC ELECTRICAL CODE.
- CONTRACTOR WILL FURNISH A FIRE UNDERWRITERS CERTIFICATE UPON COMPLETION OF WORK.
- MECHANICAL AND FUEL GAS SYSTEMS SHALL COMPLY W/ THE NYC MECHANICAL CODE AND FUEL GAS CODE. FIRE SPRINKLERS, IF REQUIRED, TO BE DESIGNED BY OTHERS.

**CG 3PL**  
Design Professional Corp

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PAA	REV	DESCRIPTION	DATE
		COMBO BOILER	9-13-17
		PAA RESUBMITTAL	12-18-17
		BFP SPR AND METER ABOVE DFL	12-18-17
		PAA Dwg. No. changes	7-16-18

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CHARLES ZWEIBACH AIA



DRAWING TITLE: **PLUMBING RISER DIAGRAMS AND DETAILS**

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DATE: 11-04-16	APP #: 019521	SCALE: AS NOTED
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DWG. NO. **P-001.03**  
SHEET 13 OF 20

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